

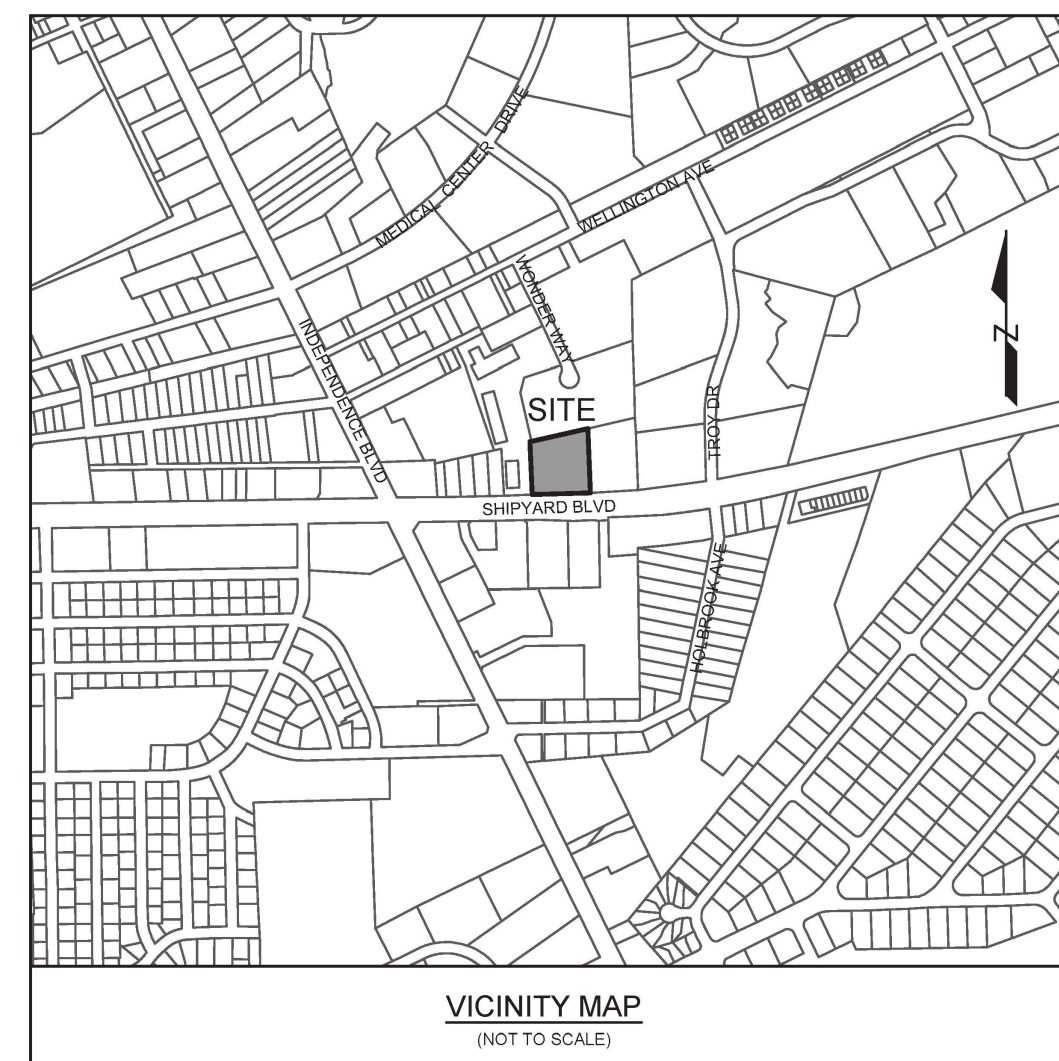
# CFCI PARKING LOT ADDITION

## WILMINGTON, NORTH CAROLINA

MINOR SITE PLAN

JULY 2020

APPLICANT:  
CORPORATION FOR INQUIRY, LLC  
2525 WONDER WAY  
WILMINGTON, NC 27401



### CFCI PARKING LOT ADDITION

MINOR SITE PLAN

PROJECT # 18365.PE

JULY 17, 2020

#### SHEET INDEX

SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
SHEET 1	EXISTING CONDITIONS/SITE INVENTORY PLAN
C-1.0	GENERAL NOTES
C-2.0	SITE PLAN
C-3.0	GRADING AND DRAINAGE PLAN
C-4.0 - 4.1	DETAILS
L-1.0	TREE REMOVAL PLAN
L-2.0	LANDSCAPE PLAN
1 of 1	DUKE LIGHTING PLAN

#### PROJECT CONSULTANTS

APPLICANT	ENGINEER/LAND PLANNER/LANDSCAPE ARCHITECT	SURVEYOR
CORPORATION FOR INQUIRY, LLC 2525 WONDER WAY WILMINGTON, NC 28401	PARAMOUNTE ENGINEERING, INC. 122 CINEMA DRIVE WILMINGTON, NC 28403 CIVIL: TIM CLINKSCALES, PE (910-791-6707) LANDSCAPE ARCHITECT: JIM CIRELLO, RLA (910-791-6707)	PARAMOUNTE ENGINEERING, INC. 122 CINEMA DRIVE WILMINGTON, NC 28403 CHRIS GAGNE, PLS (910-791-6707)

PREPARED BY:

**PARAMOUNTE**  
ENGINEERING, INC.  
122 Cinema Drive Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

07/17/20

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

**SECTION E: GROUND STABILIZATION**

Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

**Note:** After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

**GROUND STABILIZATION SPECIFICATION**

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> <li>Temporary grass seed covered with straw or other mulches and tackifiers</li> <li>Hydroseeding</li> <li> Rolled erosion control products with or without temporary grass seed</li> <li> Appropriately applied straw or other mulch</li> <li> Plastic sheeting</li> </ul>	<ul style="list-style-type: none"> <li>Permanent grass seed covered with straw or other mulches and tackifiers</li> <li> Geotextile fabrics such as permanent soil reinforcement matting</li> <li>Hydroseeding</li> <li> Shrubs or other permanent plantings covered with mulch</li> <li> Uniform and evenly distributed ground cover sufficient to restrain erosion</li> <li> Structural methods such as concrete, asphalt or retaining walls</li> <li> Rolled erosion control products with grass seed</li> </ul>

**POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

**EQUIPMENT AND VEHICLE MAINTENANCE**

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

**LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

**PAINT AND OTHER LIQUID WASTE**

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sited and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

**PORTABLE TOILETS**

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

**EARTHEN STOCKPILE MANAGEMENT**

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

**ON-SITE CONCRETE WASHOUT STRUCTURE WITH LINER**

**BELOW-GRADE WASHOUT STRUCTURE**

**CONCRETE WASHOUTS**

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

**HERBICIDES, PESTICIDES AND RODENTICIDES**

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

**HAZARDOUS AND TOXIC WASTE**

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

**NCG01 GROUND STABILIZATION AND MATERIALS HANDLING**

EFFECTIVE: 04/01/19

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION A: SELF-INSPECTION**

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measure. 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken. 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part II, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or assurance that they will be provided as soon as possible.

**NOTE:** The rain inspection resets the required 7 calendar day inspection requirement.

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION B: RECORDKEEPING**

**1. E&SC Plan Documentation**

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be documented in the manner described:

Item to Document	Documentation Requirements
(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the initial installation of the E&SC Measures or if the E&SC Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC Plan.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC Measures.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

**2. Additional Documentation**

In addition to the E&SC Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This general permit as well as the certificate of coverage, after it is received.
- Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION C: REPORTING**

**1. Occurrences that must be reported**

Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
  - They are 25 gallons or more,
  - They are less than 25 gallons but cannot be cleaned up within 24 hours,
  - They cause sheen on surface waters (regardless of volume), or
  - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

**2. Reporting Timeframes and Other Requirements**

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Division's Emergency Response personnel at (800) 662-7956, (800) 858-0368 or (919) 733-3300.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> <li><b>Within 24 hours</b>, an oral or electronic notification.</li> <li><b>Within 7 calendar days</b>, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li> <li>If the stream is named on the <b>NC 303(d) list</b> as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired waters conditions.</li> </ul>
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> <li><b>Within 24 hours</b>, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li> </ul>
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> <li><b>A report at least ten days before the date of the bypass, if possible.</b> The report shall include an evaluation of the anticipated quality and effect of the bypass.</li> </ul>
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> <li><b>Within 24 hours</b>, an oral or electronic notification.</li> <li><b>Within 7 calendar days</b>, a report that includes an evaluation of the quality and effect of the bypass.</li> </ul>
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(j)(7)]	<ul style="list-style-type: none"> <li><b>Within 24 hours</b>, an oral or electronic notification.</li> <li><b>Within 7 calendar days</b>, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(j)(6)].</li> <li>Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul>

**NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING**

EFFECTIVE: 04/01/19

REVISIONS:

CLIENT INFORMATION:

**PARAMOUNT ENGINEERING, INC.**

122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6760 (F)  
NC License #: C-2846

NPDES NCG01 NOTES

CAPE FEAR CENTER FOR INQUIRY  
PARKING LOT ADDITION  
WILMINGTON, NORTH CAROLINA

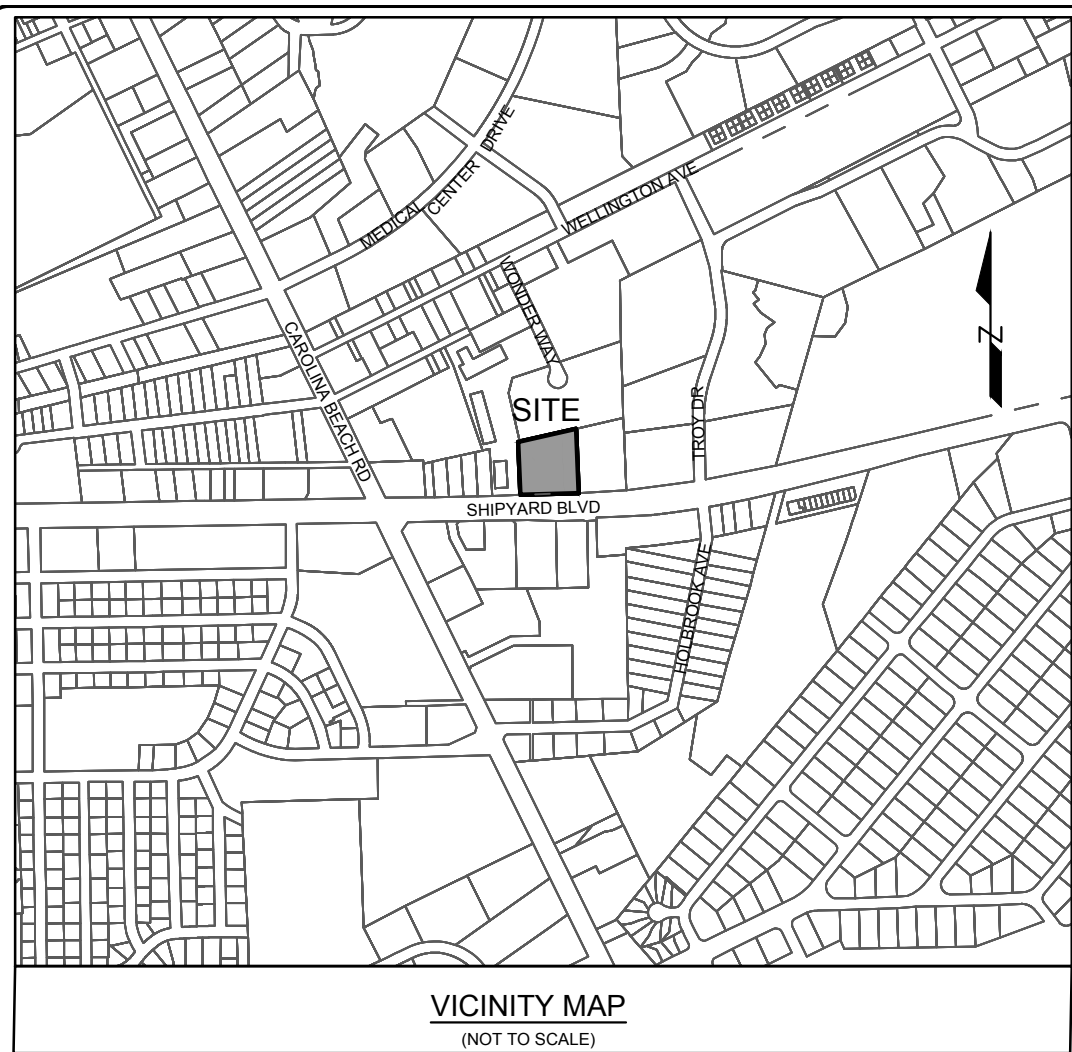
PROJECT STATUS

CONCEPTUAL LAYOUT  
PRELIMINARY LAYOUT  
FINAL DESIGN  
RELEASED FOR CONSTRUCTION

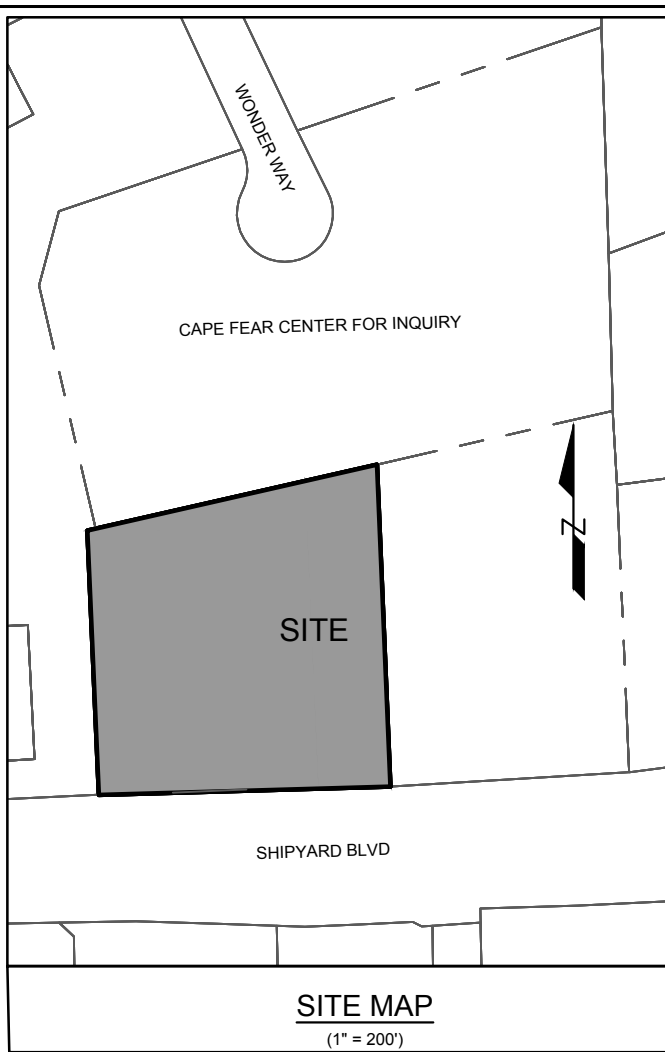
SEAL

**C-1.1**

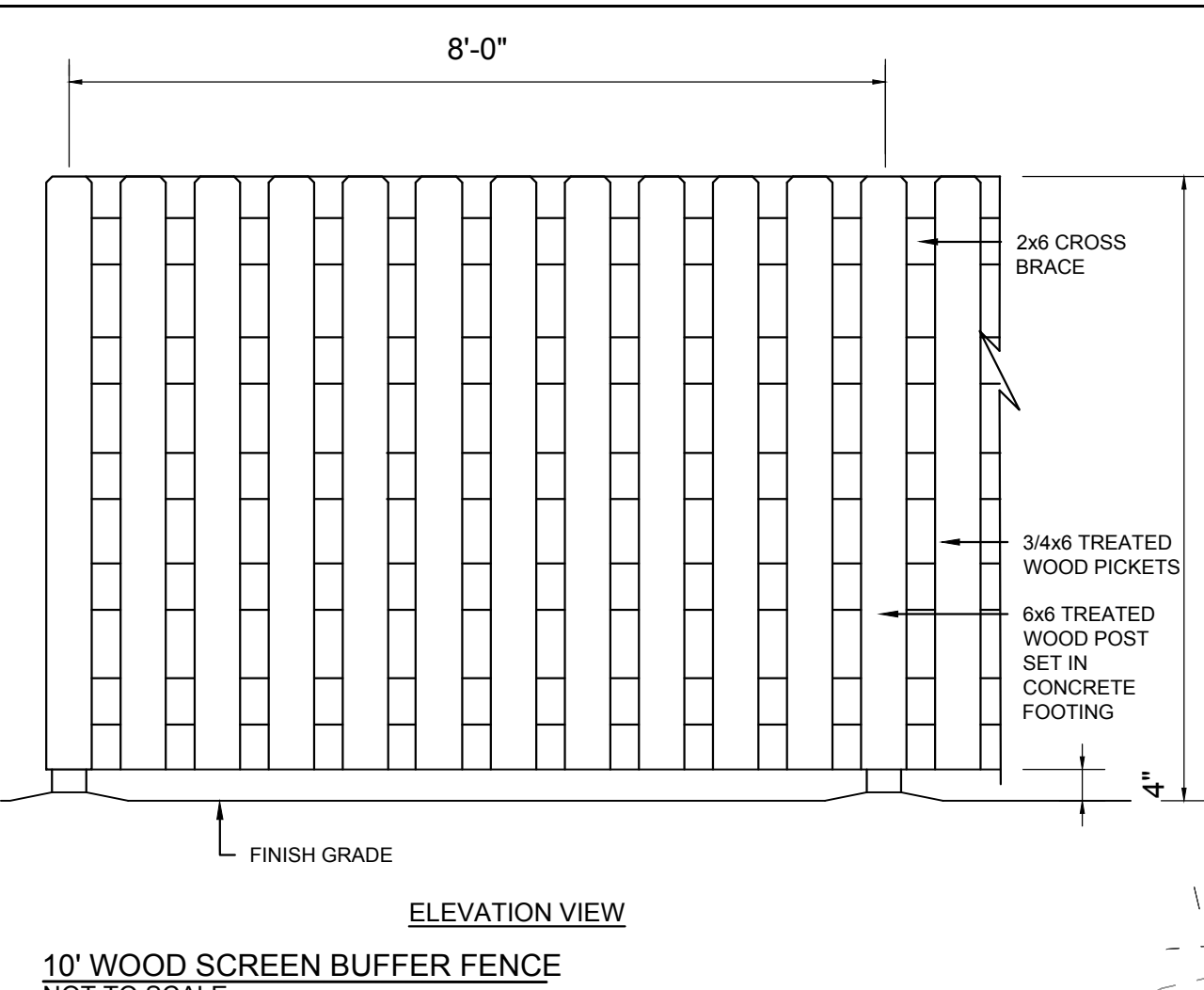
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VICINITY MAP  
(NOT TO SCALE)



SITE MAP  
(1" = 200')



ELEVATION VIEW  
10' WOOD SCREEN BUFFER FENCE  
NOT TO SCALE

SYMBOL LEGEND

EXISTING ALUMINUM FENCE	— [Symbol] —
PROPOSED ALUMINUM FENCE	— [Symbol] —
PROPOSED WOOD FENCE	— [Symbol] —
VEHICULAR STACKING ROUTE	→ 400' STACK ←



Approved Construction Plan

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

Fire: \_\_\_\_\_

Signed: \_\_\_\_\_

**CITY OF WILMINGTON**  
NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**SITE INFORMATION**  
PROJECT ADDRESS: 2525 WONDER WAY, 703 & 705 SHIPYARD BLVD WILMINGTON, NC 28403

**OWNER INFORMATION:** CORPORATION FOR INQUIRY, LLC  
2525 WONDER WAY WILMINGTON, NC 28401

**TAX PARCEL IDENTIFICATION #:** R06018-004-022-003 (2525 WONDER WAY) DB 6121 PG 2897

**TAX PARCEL IDENTIFICATION #:** R 06018-004-032-000 (621 SHIPYARD BLVD) DB 6233 PG 876

**TAX PARCEL IDENTIFICATION #:** R06018-004-033-000 (703 SHIPYARD BLVD) DB 4957 PG 2522

**TAX PARCEL IDENTIFICATION #:** R06018-004-0034-000 (705 SHIPYARD BLVD) DB 1481 PG 188

**CURRENT ZONING:** O&I-1(CD) (2525 WONDER WAY)

**EXISTING USE:** SCHOOL (252 WONDER WAY) RESIDENTIAL (621, 703 & 705 SHIPYARD BLVD)

**PROPOSED USE:** PARKING LOT ± 6.665 AC ± 5.076 AC (2525 WONDER WAY) ± 0.509 ACRES (621 SHIPYARD) ± 0.537 ACRES (703 SHIPYARD) ± 0.563 ACRES (705 SHIPYARD)

**FLOOD INFORMATION:** THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3720312600K, DATED AUGUST 28, 2018

**CAMA LAND USE CLASSIFICATION:** URBAN

**SPECIAL HIGHWAY OVERLAY DISTRICT:** THE SITE IS NOT LOCATED IN A SPECIAL HIGHWAY OVERLAY DISTRICT

**DIMENSIONAL REQUIREMENTS**  
O&I - OFFICE & INSTITUTIONAL  
- MINIMUM LOT AREA: 15,000 SF  
- MINIMUM LOT WIDTH: 80'  
- MAXIMUM LOT COVERAGE: 40%  
- MINIMUM FRONT SETBACK: 20'  
- MINIMUM REAR SETBACK: 20', 25' WHEN ABUTTING RESIDENTIAL USE  
- MINIMUM INTERIOR SIDE SETBACK: 10', 20' WHEN ABUTTING RESIDENTIAL USE  
- MINIMUM CORNER LOT SIDE SETBACK: 20'  
- MAXIMUM BUILDING HEIGHT: 45'

**SITE PARKING**  
MINIMUM PARKING REQUIRED: 54 SPACES  
MAXIMUM PARKING ALLOWED: 81 SPACES

**EXISTING PARKING ON SITE:** 58 SPACES  
**NEW PARKING SPACES PROPOSED:** 84 SPACES  
**TOTAL PARKING PROPOSED FOR SITE:** 142 SPACES  
APPROVED PER PARKING STUDY PROVIDED BY RAMEY KEMP

**HANDICAP PARKING REQUIRED:** 4 SPACES  
**HANDICAP PARKING PROVIDED:** 4 SPACES

**BICYCLE PARKING REQUIRED:** 10 SPACES  
**EXISTING SPACES:** 8  
8 EXISTING SPACES SHALL BE SUPPLEMENTED TO MEET THE REQUIREMENT ON EXISTING SCHOOL SITE

**BUILDING INFO**  
NO BUILDINGS ARE PROPOSED FOR THE SITE

**IMPERVIOUS INFORMATION**  
EXISTING IMPERVIOUS AREA: 0 SF  
PROPOSED IMPERVIOUS AREA TOTAL BUILDING (FOOTPRINT) 0 SF  
ON-SITE PARKING & DRIVEWAYS 6,050 SF  
ON-SITE SIDEWALKS 1,500 SF  
ON-SITE CURB 800 SF  
ON-SITE CONCRETE 800 SF  
TOTAL PROPOSED IMP. AREA 19,650 SF (0.45 AC)  
PROPOSED PERCENT IMPERVIOUS 19,650 / 48,954 = 40.1%

**FIRE & LIFE SAFETY NOTES:**  
1. LANDSCAPE OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF HYDRANTS

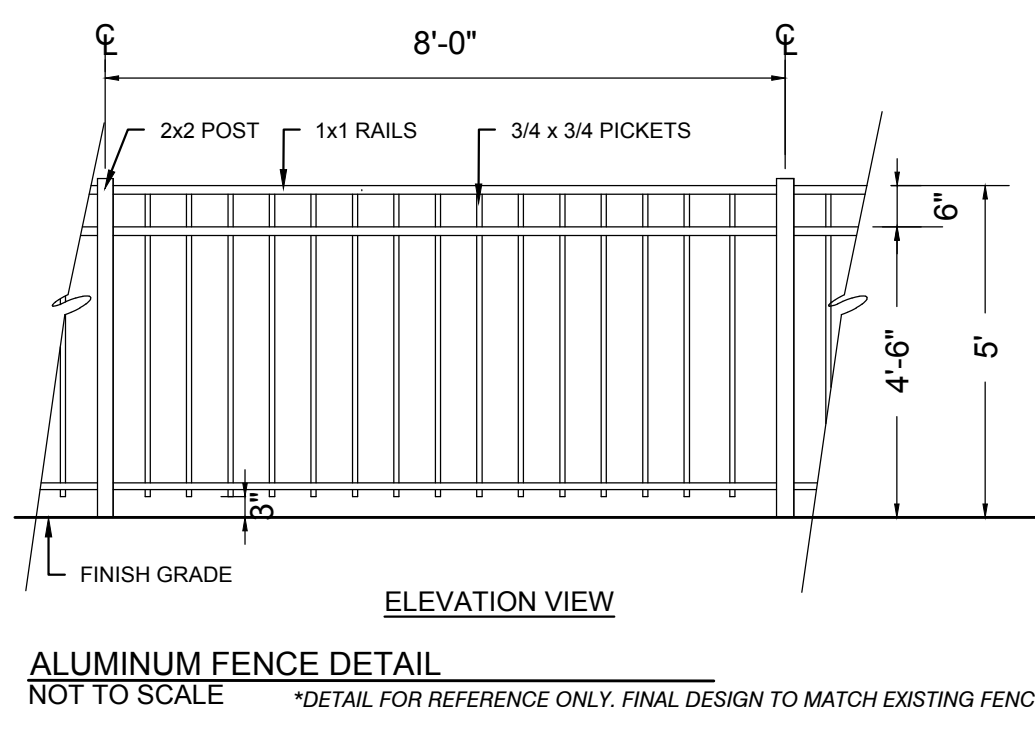
**SIGHT DISTANCE TRIANGLES:**  
IN ORDER TO MAINTAIN AN ACCEPTABLE AND SAFE LINE OF SIGHT FOR MOTOR VEHICLE DRIVERS, NO PARKING SPACES, FENCES, WALLS, POSTS, LIGHTS, SHRUBS, TREES OR OTHER TYPE OF OBSTRUCTIONS NOT SPECIFICALLY EXEMPTED SHALL BE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND ABOVE GROUND LEVEL AND TEN (10) FEET ABOVE GROUND LEVEL WITHIN THE TRIANGULAR SIGHT DISTANCE.

THE FOLLOWING THREE SIGHT DISTANCE TRIANGLES ARE SHOWN ON THE PLAN:

**CITY OF WILMINGTON (SEC. 18-812)**  
AT THE INTERSECTION OF A STREET WITH A DRIVEWAY DETERMINED BY MEASURING A DISTANCE OF TWENTY (20) FEET ALONG THE SIDE OF SAID DRIVEWAY AT THE PROPERTY LINE AND SEVENTY (70) FEET ALONG THE CURB LINE OF THE STREET

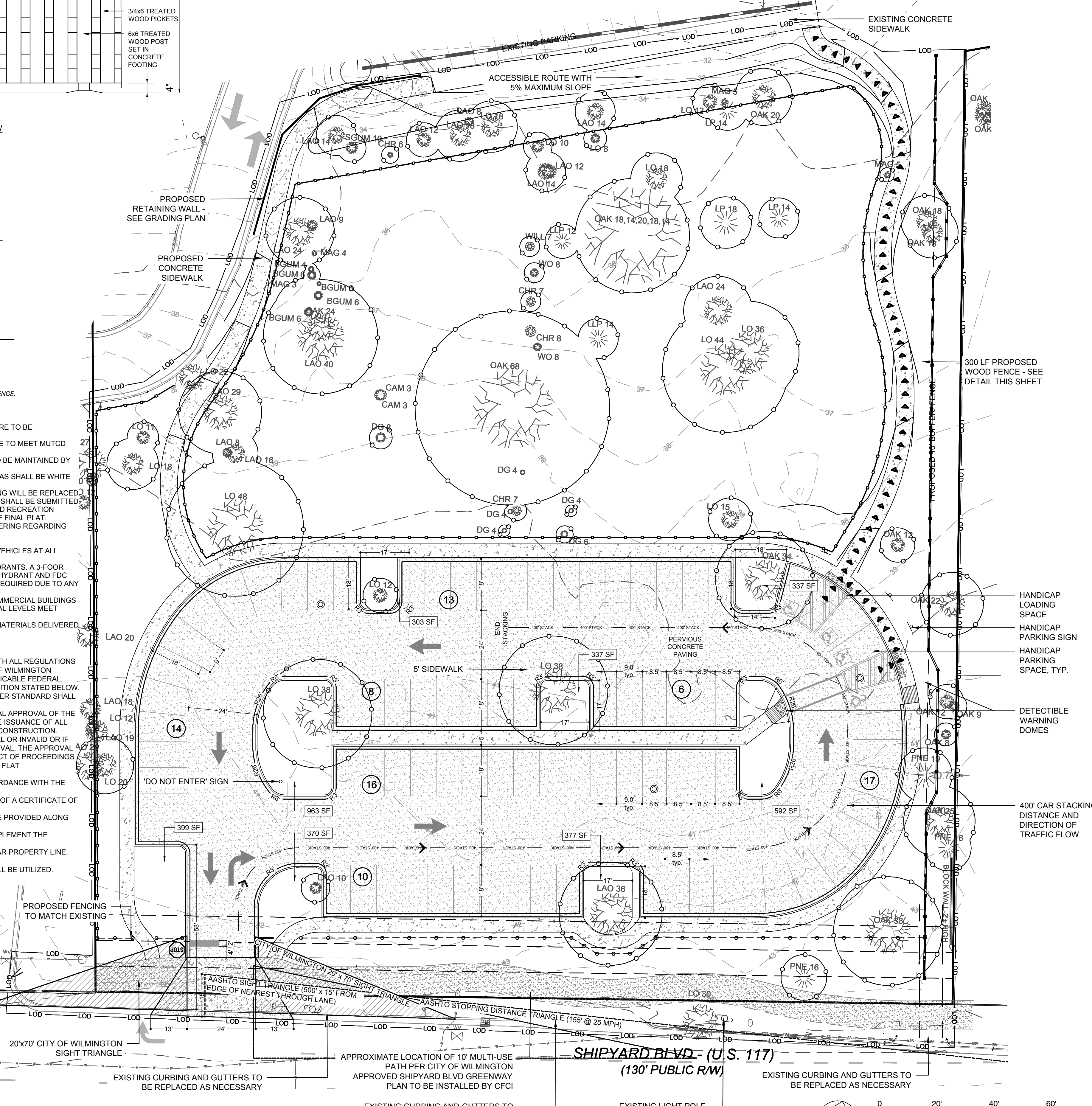
**AASHTO INTERSECTION SIGHT DISTANCE**  
45 MPH ROAD = 500' DESIGN INTERSECTION SIGHT DISTANCE, MEASURED 15' FROM EDGE OF NEAREST THRU LANE

**AASHTO STOPPING SIGHT DISTANCE**  
25 MPH DECELERATION SPEED = 155' STOPPING DISTANCE, MEASURED FROM EAST SIDE OF INTERNAL DRIVEWAY CROSSWALK, PER CITY OF WILMINGTON TRAFFIC ENGINEERING



ELEVATION VIEW  
ALUMINUM FENCE DETAIL  
NOT TO SCALE \*DETAIL FOR REFERENCE ONLY. FINAL DESIGN TO MATCH EXISTING FENCE.

- GENERAL NOTES:**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
  - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
  - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
  - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
  - A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
  - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
  - A LANDSCAPE PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.
  - CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN RIGHT OF WAY.
  - THERE WILL BE NO SOLID WASTE DISPOSAL ON SITE.
  - CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
  - LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
  - ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
  - CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET SECTION 510 REQUIREMENTS OF THE 2018 NC FIRE CODE.
  - NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
- CONDITIONS OF APPROVAL - REZONING**
- THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL COMPLY WITH ALL REGULATIONS AND REQUIREMENTS IMPOSED BY THE LAND DEVELOPMENT CODE, THE CITY OF WILMINGTON TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL AND ANY OTHER APPLICABLE FEDERAL, STATE OR LOCAL LAW, ORDINANCE OR REGULATION, IS WHAT WAS ANY CONDITION STATED BELOW, IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT OR HIGHER STANDARD SHALL APPLY.
  - APPROVAL OF THIS CONDITIONAL DISTRICT DOES NOT CONSTITUTE TECHNICAL APPROVAL OF THE SITE PLAN. FINAL APPROVAL BY THE TECHNICAL REVIEW COMMITTEE AND THE ISSUANCE OF ALL REQUIRED PERMITS MUST OCCUR PRIOR TO RELEASE OF THE PROJECT FOR CONSTRUCTION.
  - IF, FOR ANY REASON, ANY CONDITION FOR APPROVAL IS FOUND TO BE ILLEGAL OR INVALID OR IF THE APPLICANT SHOULD FAIL TO ACCEPT ANY CONDITION FOLLOWING APPROVAL, THE APPROVAL OF THE SITE PLAN FOR THE DISTRICT SHALL BE NULL AND VOID AND NO EFFECT OF PROCEEDINGS SHALL BE INSTITUTED TO REZONE THE PROPERTY TO ITS PREVIOUS ZONING PLAT CLASSIFICATION.
  - THE USE AND DEVELOPMENT OF THE SUBJECT PROPERTY SHALL BE IN ACCORDANCE WITH THE SITE PLAN APPROVED BY CITY COUNCIL.
  - THE PROPERTY SHALL BE COMBINED INTO ONE LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - A MINIMUM 10-FOOT VEGETATIVE BUFFER AND OPAQUE WOOD FENCE WILL BE PROVIDED ALONG THE EASTERN PROPERTY LINE TO SCREEN THE RESIDENTIAL USES.
  - A FENCE SHALL BE PROVIDED ALONG THE WESTERN PROPERTY LINE TO SUPPLEMENT THE EXISTING FENCE ADJACENT TO WILLIE STARGELL'S SHIPYARD ENTRANCE.
  - A 50 FOOT BUILDING SETBACK SHALL BE REQUIRED ALONG THE SIDE AND REAR PROPERTY LINE.
  - SITE LIGHTING SHALL BE LIMITED TO FULL CUT OFF FIXTURES.
  - MONUMENT STYLE AND WALL SIGNS SHALL BE UTILIZED. NO POLE SIGNS SHALL BE UTILIZED.
  - SIDEWALKS SHALL BE DESIGNED AROUND TREES WHEN POSSIBLE.
  - ALL STATE, CITY, STATE AND FEDERAL REGULATIONS SHALL BE MET.
- SITE LIGHTING:**
- SEE SHEET C-4.1 FOR FIXTURE DETAIL
  - SEE SHEET 1 OF 1 FOR DUKE LIGHTING DESIGN



**REVISIONS:**

NO.	DESCRIPTION

**CLIENT INFORMATION:** CORPORATION FOR INQUIRY, LLC  
2525 WONDER WAY  
WILMINGTON, NC

**PARAMOUNT ENGINEERING:**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6766 (F)  
NC License #: C-2546

**SITE PLAN**  
MINOR SITE PLAN  
CAPE FEAR CENTER FOR INQUIRY  
PARKING LOT ADDITION  
WILMINGTON, NORTH CAROLINA

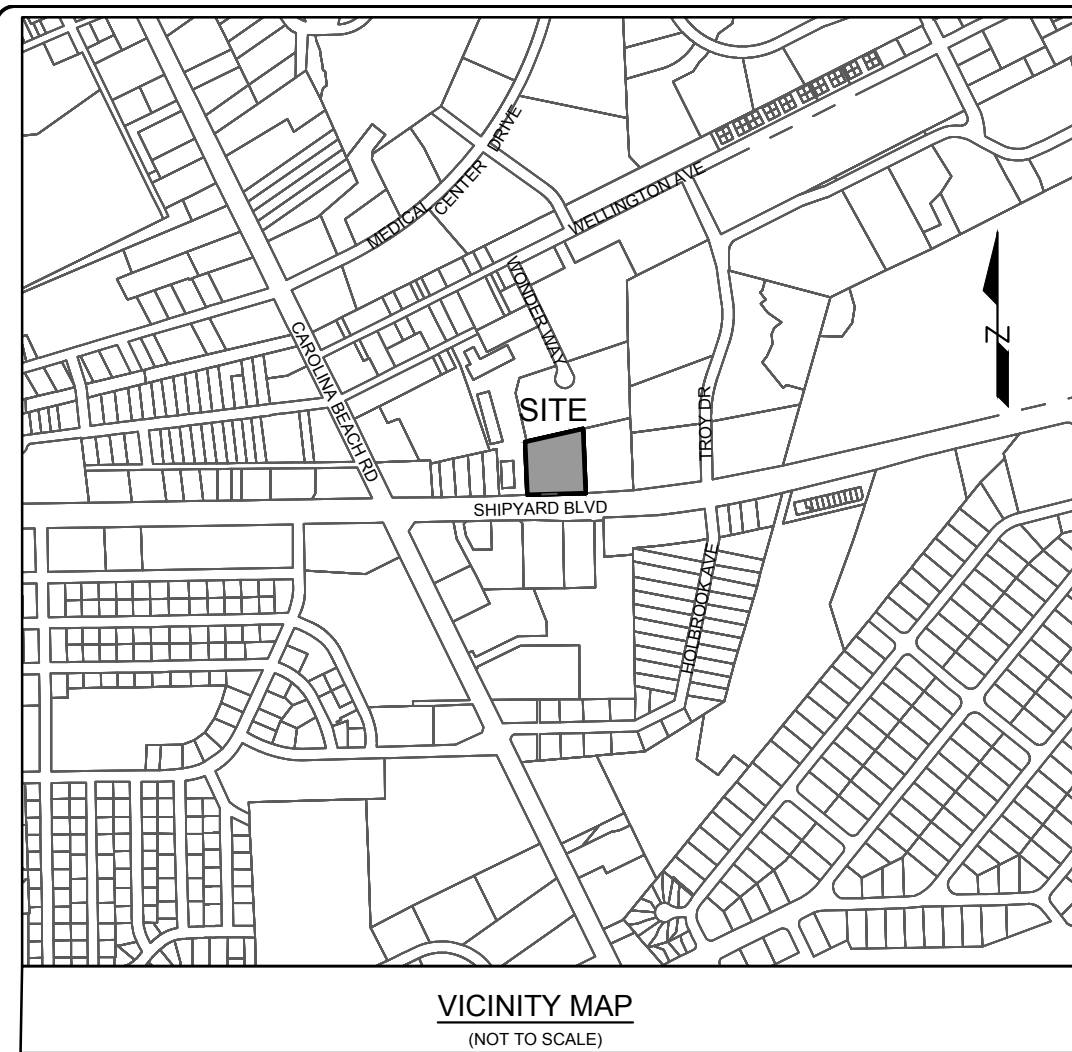
**PROJECT STATUS:**  
CONCEPTUAL LAYOUT: \_\_\_\_\_  
FINAL DESIGN: \_\_\_\_\_  
RELEASED FOR CONSTRUCTION: \_\_\_\_\_

**DRAWING INFORMATION:**  
DATE: 07/17/20  
SCALE: 1" = 20'  
DRAWN BY: \_\_\_\_\_  
CHECKED: \_\_\_\_\_

**SEAL:**

**C-2.0**

PEI JOB#: 18365.PE



VICINITY MAP  
(NOT TO SCALE)

**SITE INFORMATION**  
PROJECT ADDRESS: 2525 WONDER WAY, 703 & 705 SHIPYARD BLVD  
WILMINGTON, NC 28403

**OWNER INFORMATION:**  
CORPORATION FOR INQUIRY, LLC 2525 WONDER WAY  
WILMINGTON, NC 28401

703 SHIPYARD BLVD ALATORRE FAMILY  
703 SHIPYARD BLVD WILMINGTON, NC 28401

705 SHIPYARD BLVD RITA COVIL  
705 SHIPYARD BLVD WILMINGTON, NC 28401

TAX PARCEL IDENTIFICATION #: R06018-004-022-003 (2525 WONDER WAY)  
RECORDED DEED BOOK: DB 6121 PG 2897

TAX PARCEL IDENTIFICATION #: R06018-004-033-000 (703 SHIPYARD BLVD)  
RECORDED DEED BOOK: DB 4957 PG 2522

TAX PARCEL IDENTIFICATION #: R06018-004-0034-000 (705 SHIPYARD BLVD)  
RECORDED DEED BOOK: DB 1481 PG 188

CURRENT ZONING: CS - COMMERCIAL SERVICE  
EXISTING USE: Q&I - (CO) (2525 WONDER WAY)  
PROPOSED USE: RESIDENTIAL  
TOTAL SITE AREA: PARKING LOT  
± 1.1 ACRES (47,954 SF)

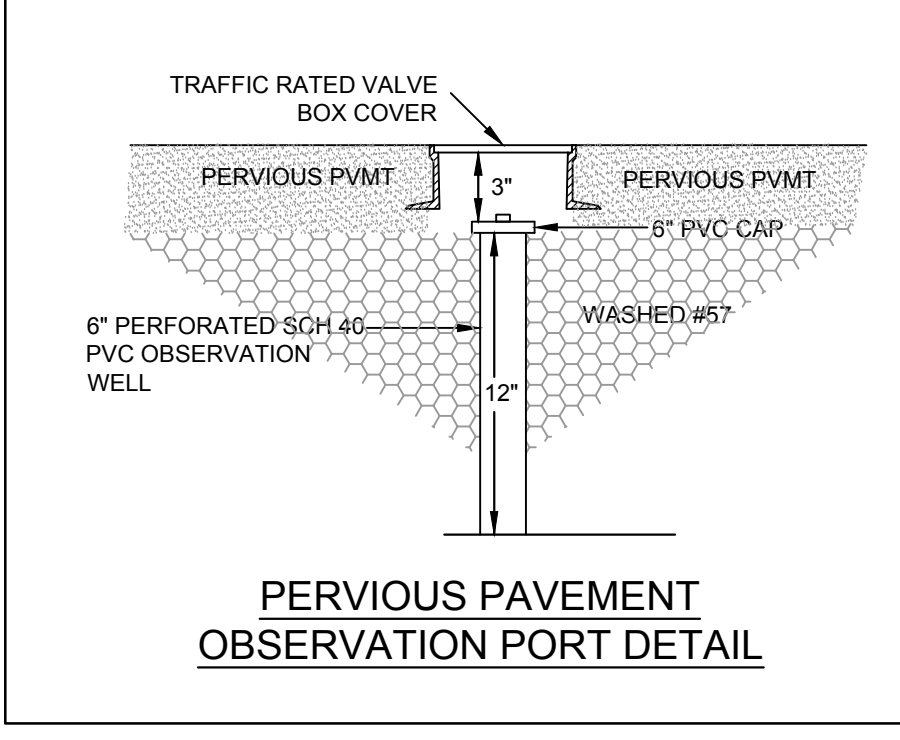
FLOOD INFORMATION: THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3720312600K, DATED AUGUST 28, 2018

CAMA LAND USE CLASSIFICATION: URBAN

SPECIAL HIGHWAY OVERLAY DISTRICT: THE SITE IS NOT LOCATED IN A SPECIAL HIGHWAY OVERLAY

**SIGHT DISTANCE TRIANGLES:**  
IN ORDER TO MAINTAIN AN ACCEPTABLE AND SAFE LINE OF SIGHT FOR MOTOR VEHICLE DRIVERS, NO PARKING SPACES, FENCES, WALLS, POSTS, LIGHTS, SHRUBS, TREES OR OTHER TYPE OF OBSTRUCTIONS NOT SPECIFICALLY EXEMPTED SHALL BE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND ABOVE GROUND LEVEL AND TEN (10) FEET ABOVE GROUND LEVEL WITHIN THE TRIANGULAR SIGHT DISTANCE.

CITY OF WILMINGTON LAND DEVELOPMENT CODE SECTION 18-556



- 1 6" PERVIOUS CONCRETE (450PSI FLEX)
- 2 6" BEDDING COURSE- ASTM #57 WASHED AGGREGATE (FREE OF FINES)
- 3 MIRFAI 140N NONWOVEN GEOTEXTILE
- 4 SUBGRADE SCARIFIED PER GEOTECH ENGINEER
- 5 18" CURB AND GUTTER (SEE DETAILS)

- NOTES**
1. PERVIOUS CONCRETE SHALL CONFORM TO ALL REQUIREMENTS OF ACI 522.1-13, 'SPECIFICATION FOR PERVIOUS CONCRETE PAVEMENT,' PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE EXCEPT AS MODIFIED BY THESE CONTRACT DOCUMENTS.
  2. IN-FIELD INFILTRATION TESTING SHALL CONFIRM ECS SOIL TESTS OF EXISTING CONDITIONS.

PERVIOUS CONCRETE PAVEMENT SECTION  
NOT TO SCALE

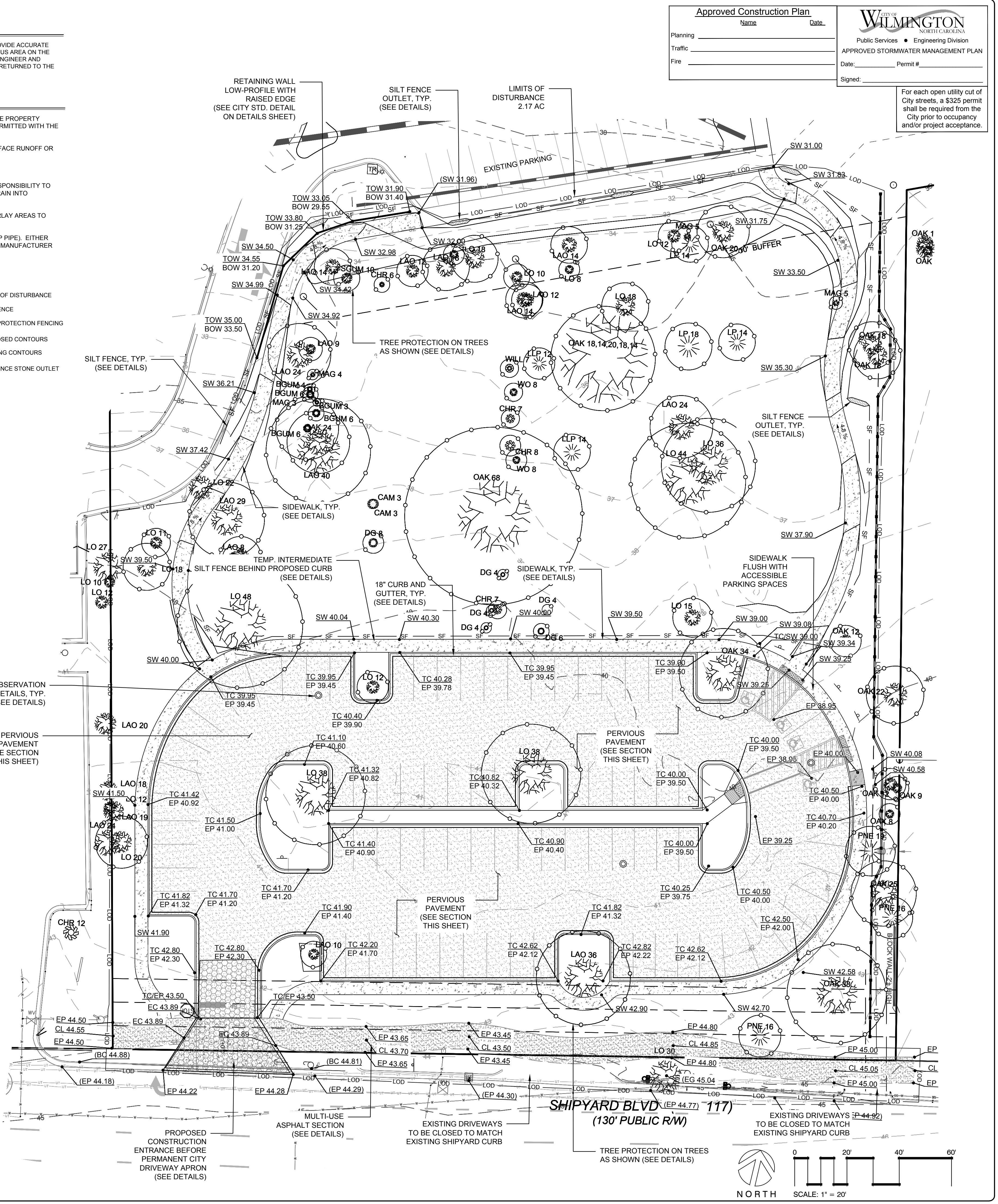
**AS-BUILT STORMWATER RULE [15A NCAC 02H.1044]:**

- 1) THE CONTRACTOR WILL EMPLOY A LAND SURVEYOR LICENSED IN THE STATE OF NORTH CAROLINA TO PROVIDE ACCURATE REPRODUCIBLE AS-BUILT DRAWINGS OF THE WET DETENTION BASIN, COLLECTION SYSTEM, AND IMPERVIOUS AREA ON THE SITE TO THE ENGINEER & OWNER UPON COMPLETION OF CONSTRUCTION. UPON CERTIFICATION BY THE ENGINEER AND VERIFICATION FROM THE OWNER ANY DISCREPANCIES WILL BE INDICATED, THEN THESE PLANS SHALL BE RETURNED TO THE CONTRACTOR FOR CORRECTION PRIOR TO FINAL PAYMENT AND FINAL INSPECTION.

**GENERAL DRAINAGE & STORMWATER NOTES:**

- 1) THE STORMWATER SYSTEM AND ANY DRAINAGE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR POA, INCLUDING PERMEABLE PAVEMENTS, PIPES, INFILTRATION TRENCHES, ETC. AS PERMITTED WITH THE STATE AND/OR CITY OF WILMINGTON.
- 2) ALL ROOF LEADERS MUST DRAIN TO THE DESIGNED PERMEABLE PAVEMENT AREAS THROUGH SURFACE RUNOFF OR PIPED UNDERNEATH THE PAVEMENT INTO THE #7 STONE BASED.
- 3) NO OBSTRUCTIONS ARE ALLOWED IN DRAINAGE EASEMENTS, INCLUDING FENCES.
- 4) NO PROPOSED ROOF DRAIN PLANS HAVE BEEN PROVIDED, SO IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS AND CONSTRUCTIBILITY PRIOR TO STARTING WORK. ROOF DRAINAGE MUST DRAIN INTO PERMEABLE PAVEMENT AS NOTED ABOVE.
- 5) CONTRACTOR SHALL ADJUST ALL FRAMES OF EX. UTILITY INFRASTRUCTURE WITHIN ASPHALT OVERLAY AREAS TO MATCH PROPOSED GRADES.
- 6) THE CONTRACTOR SHALL USE STORM PIPE PER THE SPECIFICATIONS (TYPICALLY CONCRETE OR HP PIPE), EITHER WAY THE CONTRACTOR SHALL FOLLOW THE TRENCH DETAILS AND SPECIFICATIONS, AND THE PIPE MANUFACTURER SPECIFICATIONS.

- SPOT GRADE LEGEND:**  
CB = CATCH BASIN  
DCB = DOUBLE CATCH BASIN  
DI = DROP INLET  
DDI = DOUBLE DROP INLET  
YI = YARD INLET  
MH = STORM MANHOLE
- BC/TC = TOP OF CURB ELEVATION  
CC = GUTTER CURB (FLOW LINE) ELEVATION  
CC = CURB CUT (FLUME) ELEVATION  
PG = PROPOSED GRADE (GROUND)  
GVL = PROPOSED GRAVEL GRADES  
PV = PROPOSED PAVEMENT  
EP = EDGE OF PAVEMENT  
EC = EDGE OF CONCRETE
- TOW = TOP OF WALL ELEVATION  
BOW = BOTTOM OF WALL ELEVATION  
(EG) = EXISTING GRADE  
(XX) = EXISTING ELEVATIONS, TYP.
- EROSION CONTROL LEGEND:**  
— LOD — LOD — LIMITS OF DISTURBANCE  
— SF — SF — SILT FENCE  
— ○ — ○ — TREE PROTECTION FENCING  
— 20 — 20 — PROPOSED CONTOURS  
— - - - - EXISTING CONTOURS  
— [ ] — [ ] — SILT FENCE STONE OUTLET



**Approved Construction Plan**  
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_  
Traffic: \_\_\_\_\_  
Fire: \_\_\_\_\_

Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**REVISIONS:**

CLIENT INFORMATION:  
CORPORATION FOR INQUIRY, LLC  
2525 WONDER WAY  
WILMINGTON, NC

**PARAMOUNT ENGINEERING, INC.**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6766 (F)  
NC License #: C-2846

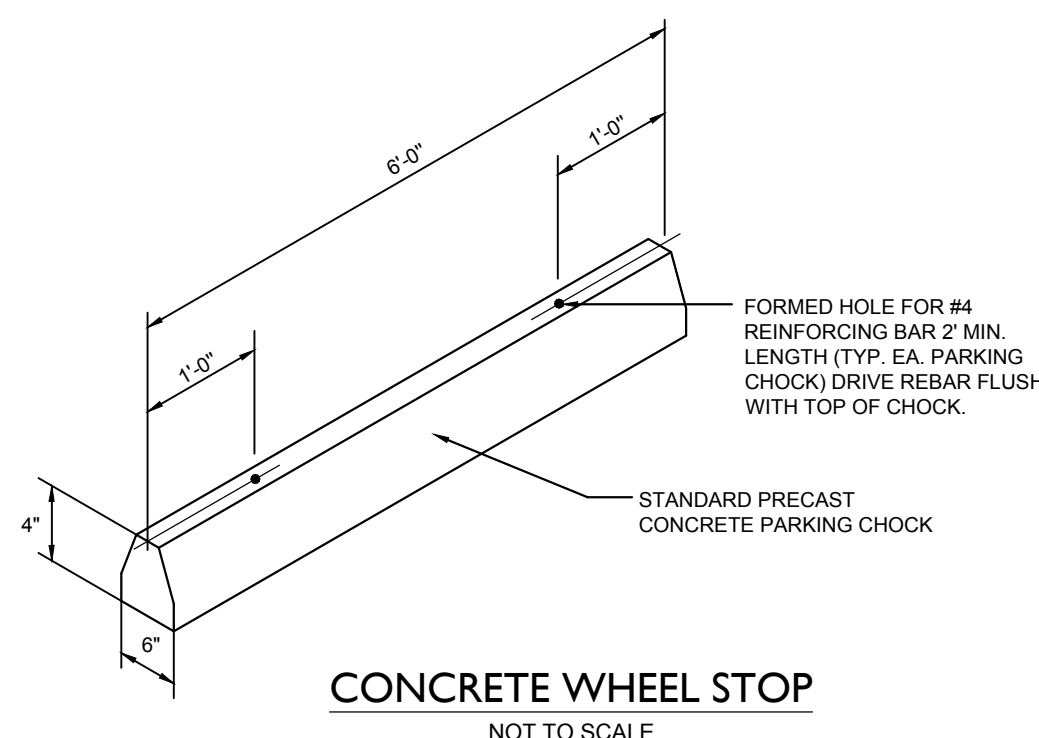
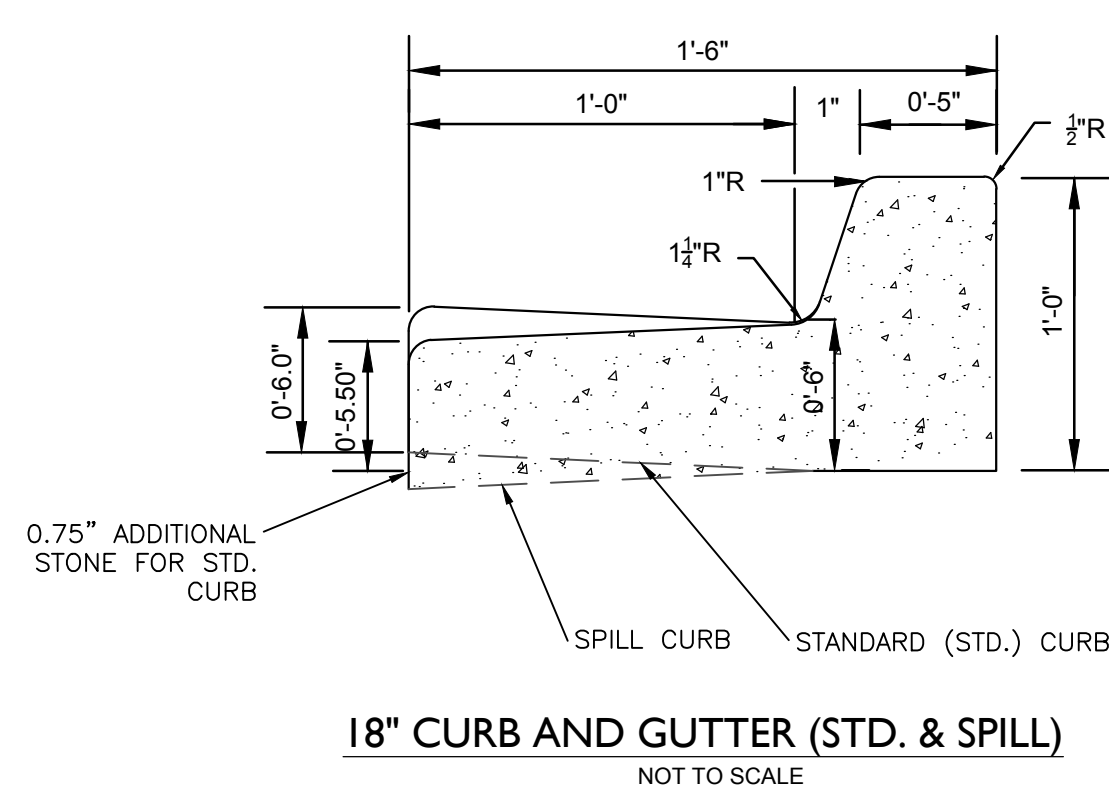
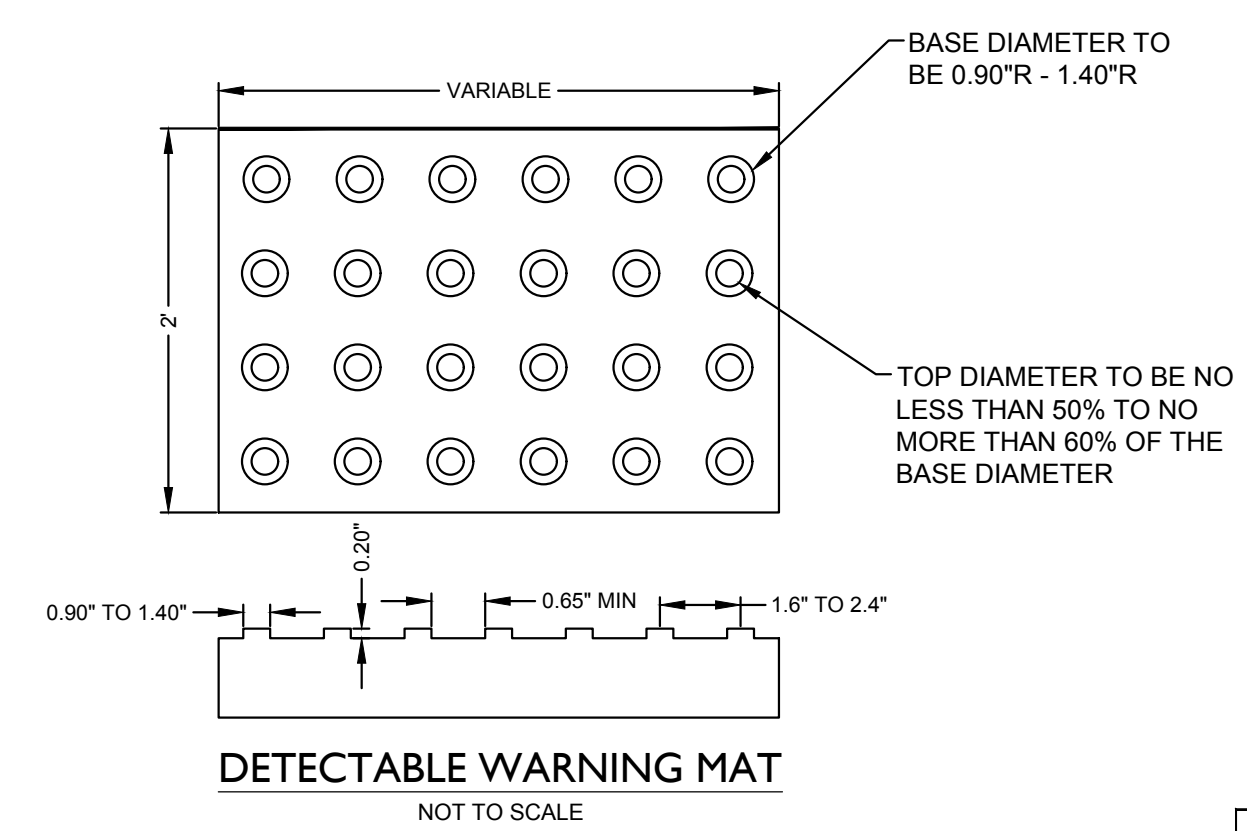
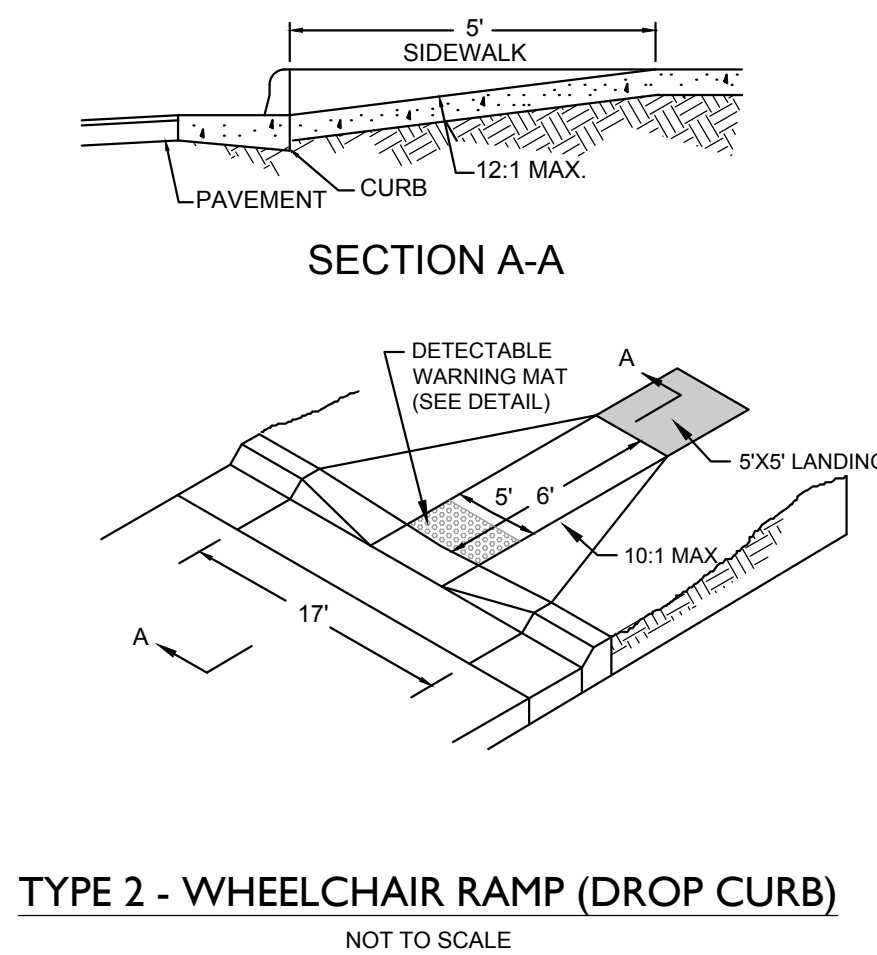
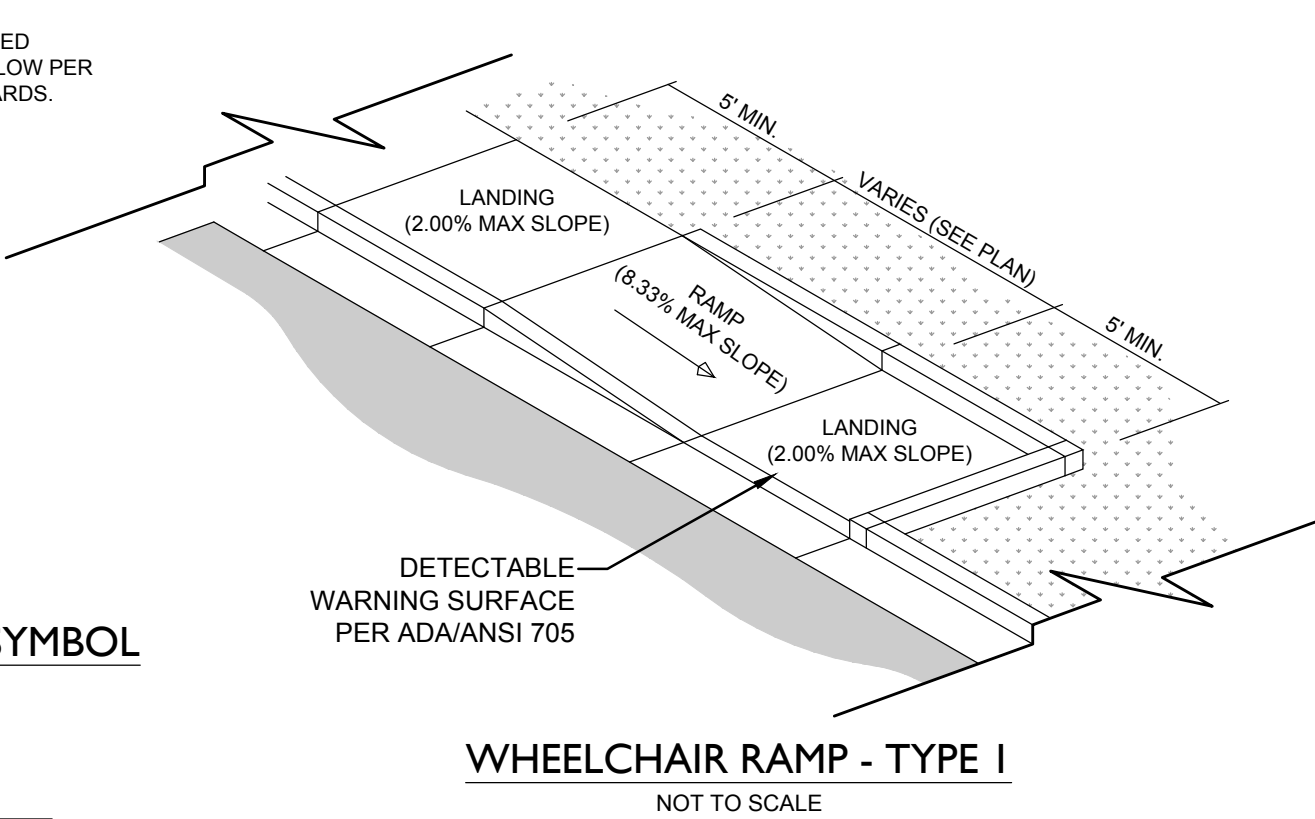
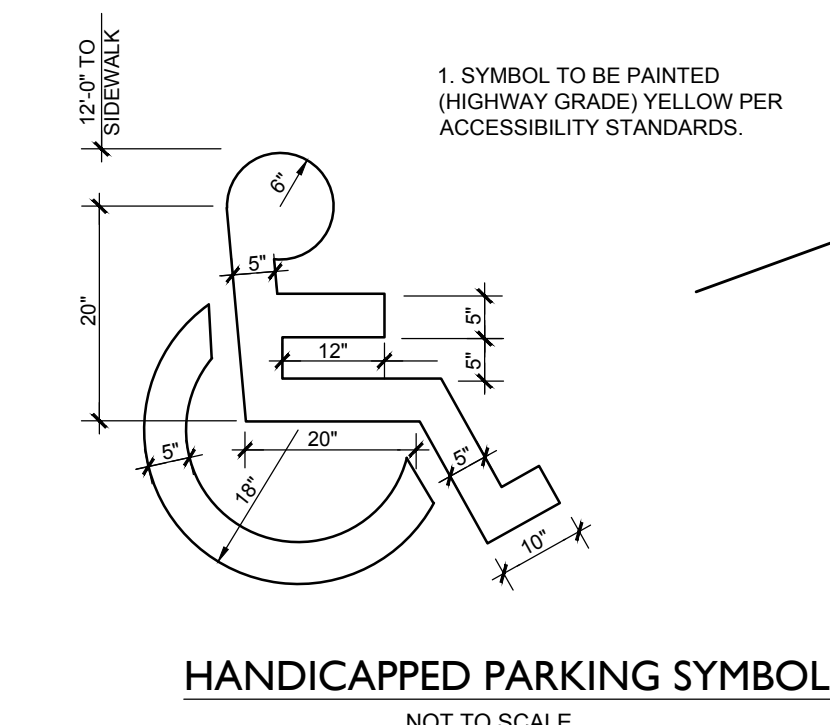
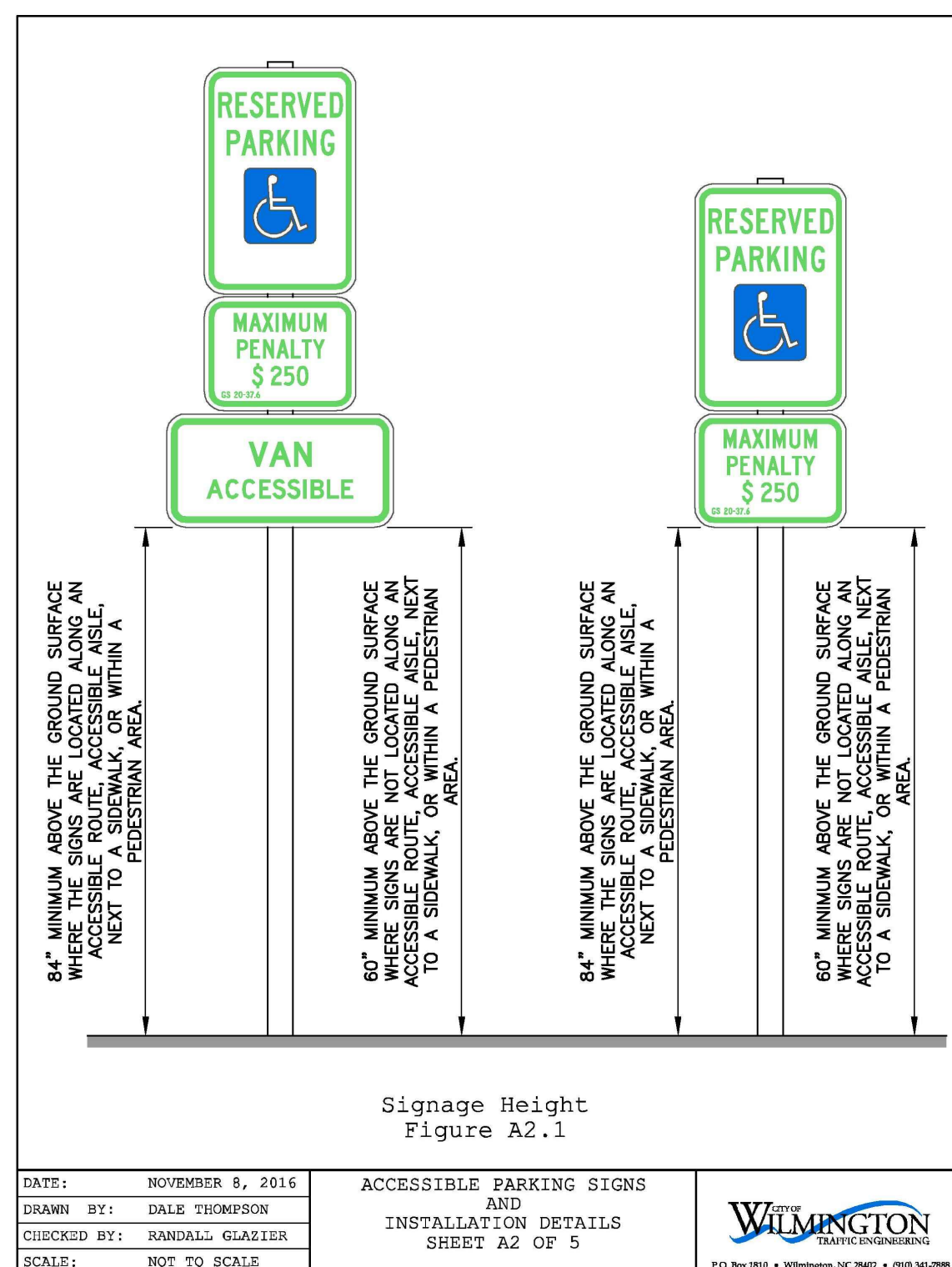
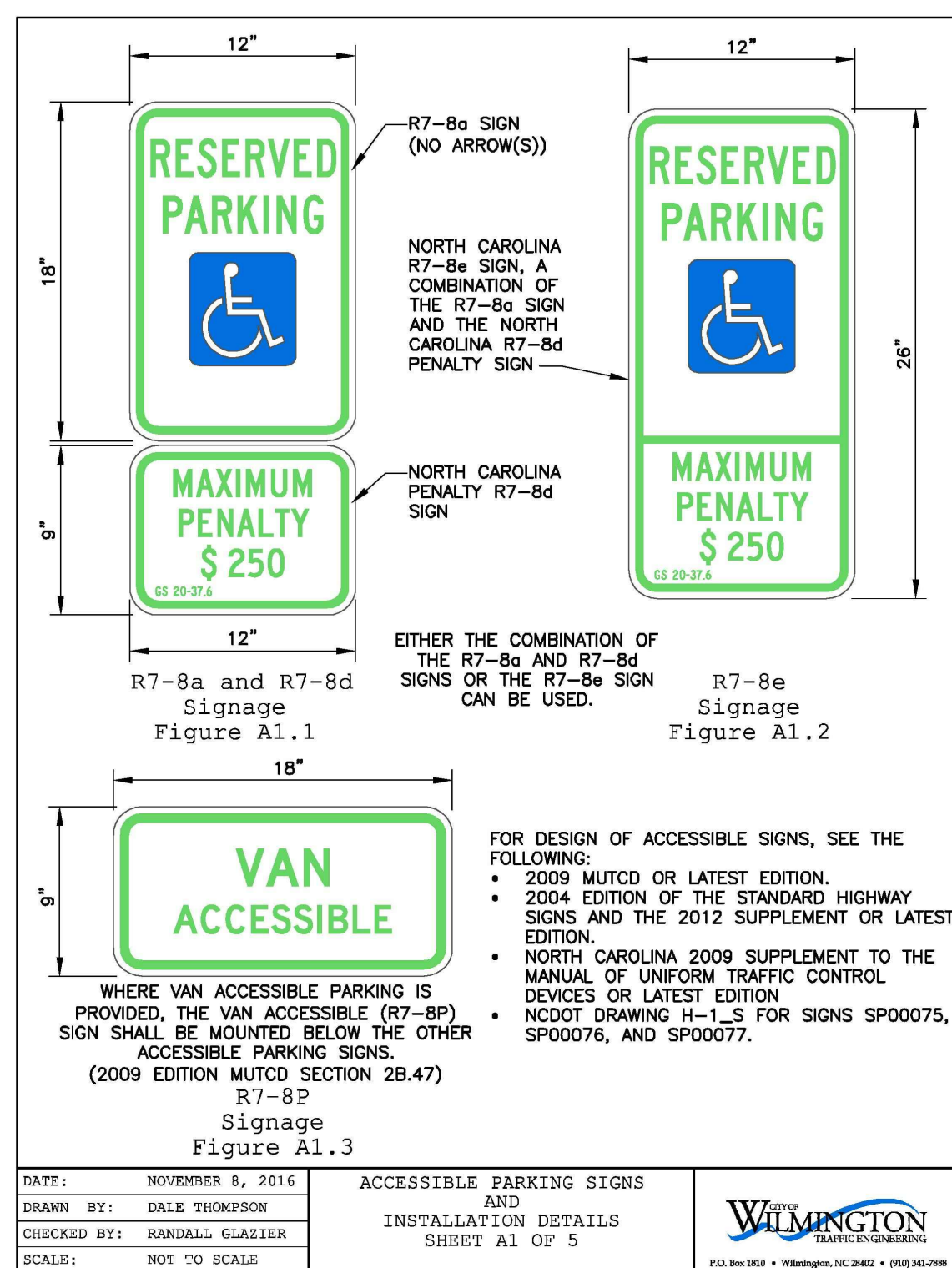
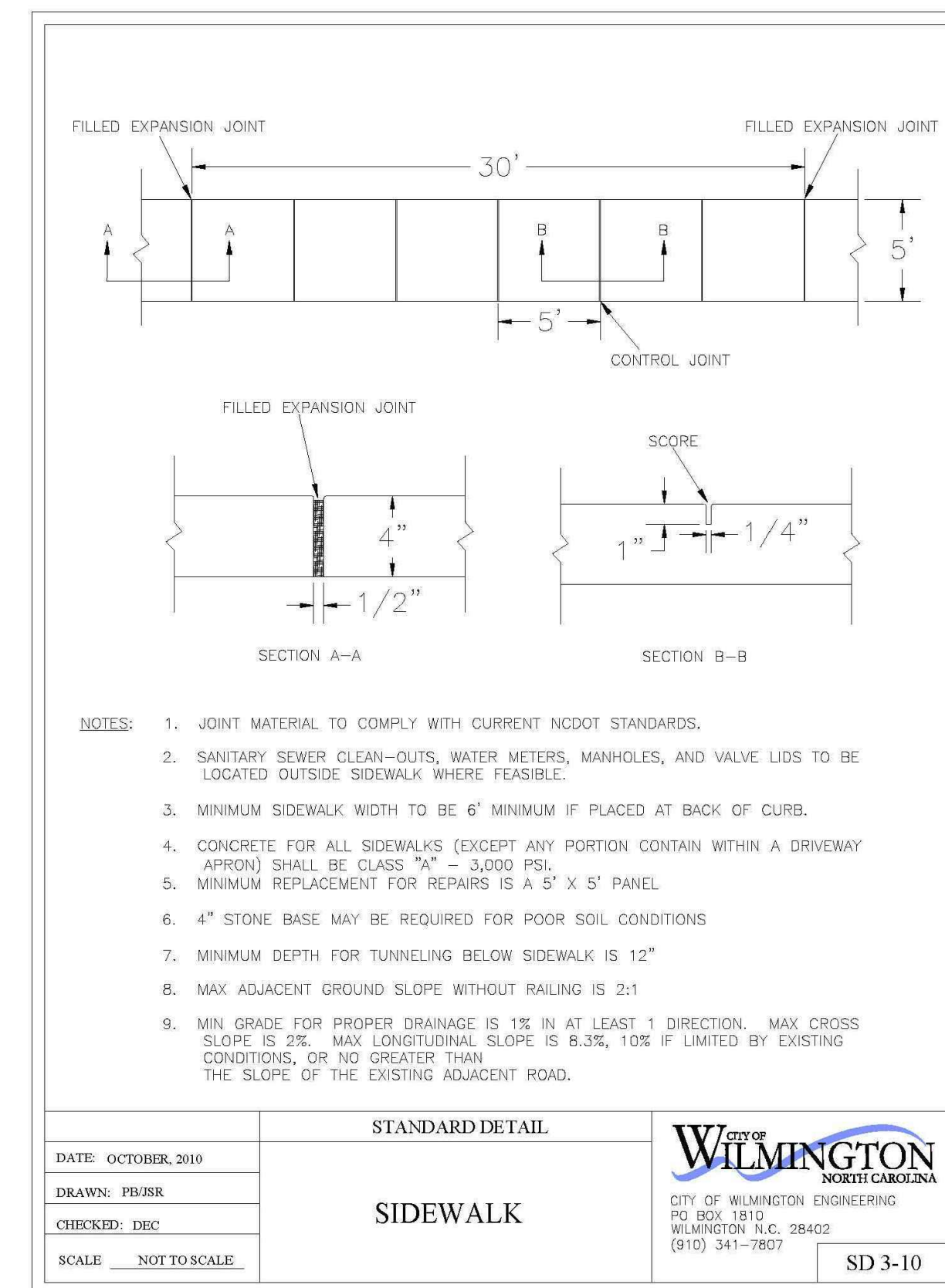
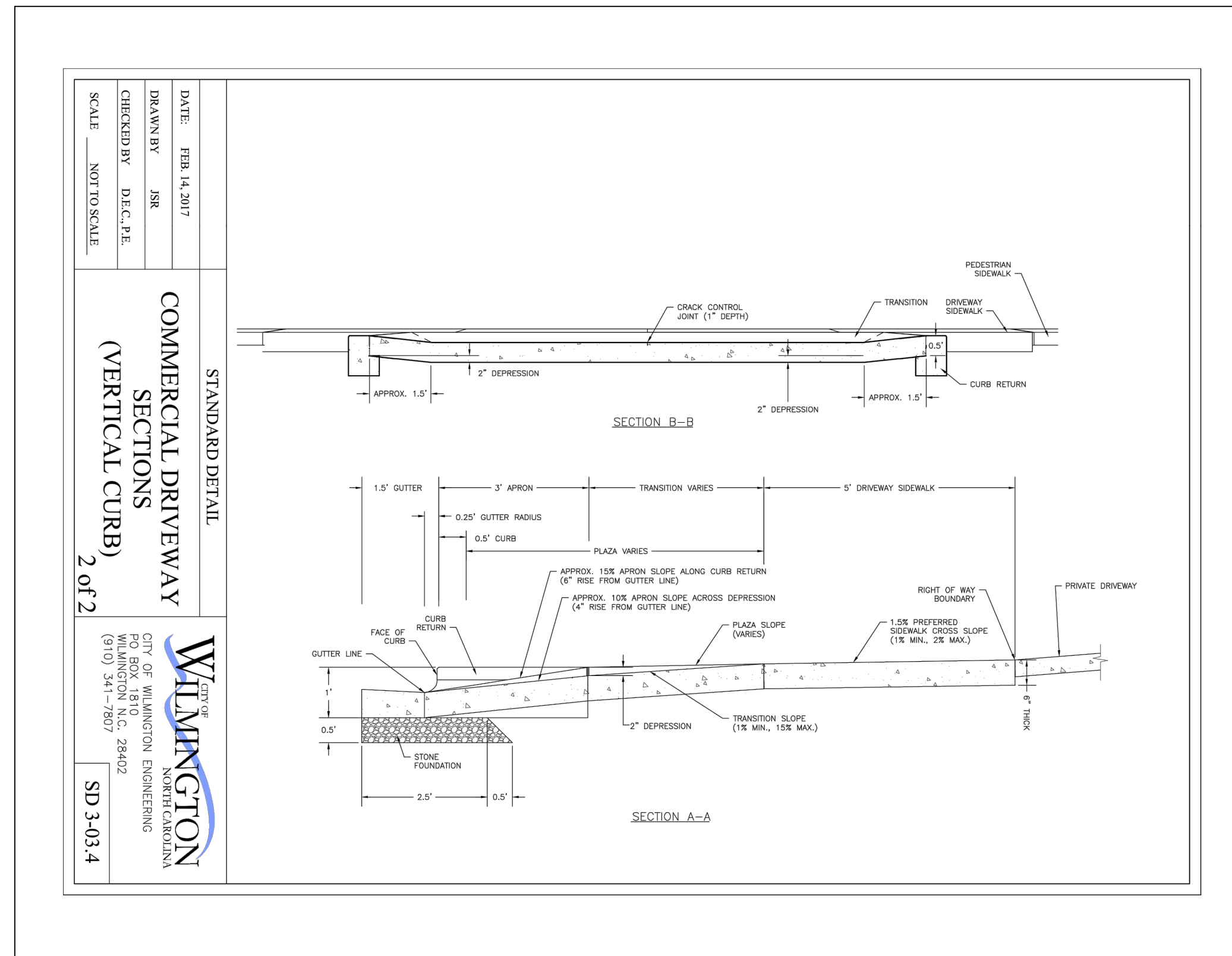
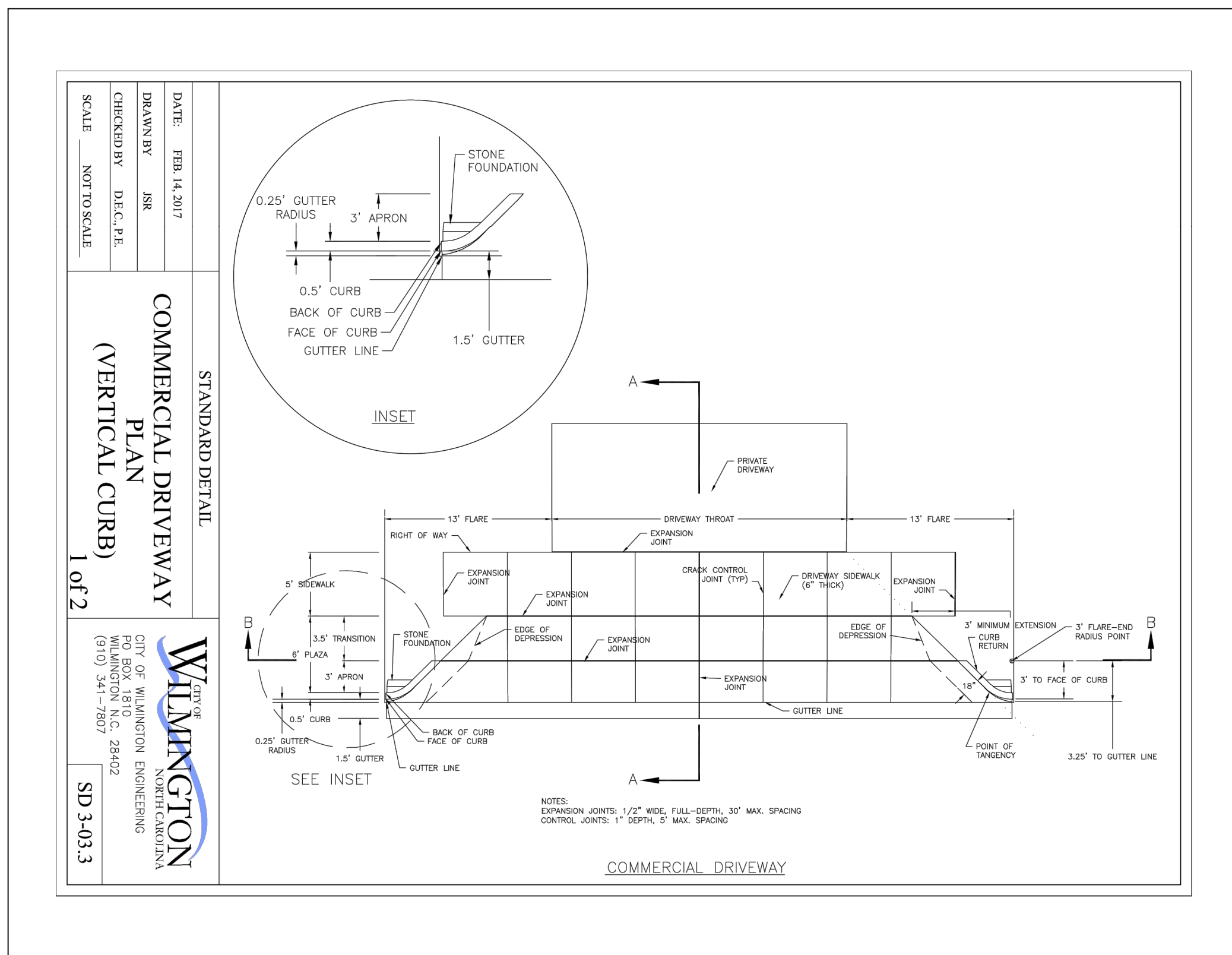
**GRADING AND DRAINAGE PLAN AND DETAILS**  
CAPE FEAR CENTER FOR INQUIRY  
PARKING LOT ADDITION  
WILMINGTON, NORTH CAROLINA

PROJECT STATUS:  
CONCEPTUAL LAYOUT:  
FINAL DESIGN LAYOUT:  
RELEASED FOR CONSTRUCTION:

DRAWING INFORMATION:  
DATE: 07/17/20  
SCALE: 1" = 20'  
DRAWN BY: JRS  
CHECKED: JTC

SEAL

**C-3.0**  
PEI JOB#: 18365.PE



REVISIONS:

CLIENT INFORMATION:

**PARAMOUNT ENGINEERING**  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (F) (910) 341-7807 (C)  
 N.C. License #: C-2846

**DETAILS**  
 CAPE FEAR CENTER FOR INQUIRY  
 PARKING LOT ADDITION  
 WILMINGTON, NORTH CAROLINA

**PROJECT STATUS**  
 PRELIMINARY LAYOUT:  
 FINAL DESIGN LAYOUT:  
 RELEASED FOR CONSTRUCTION

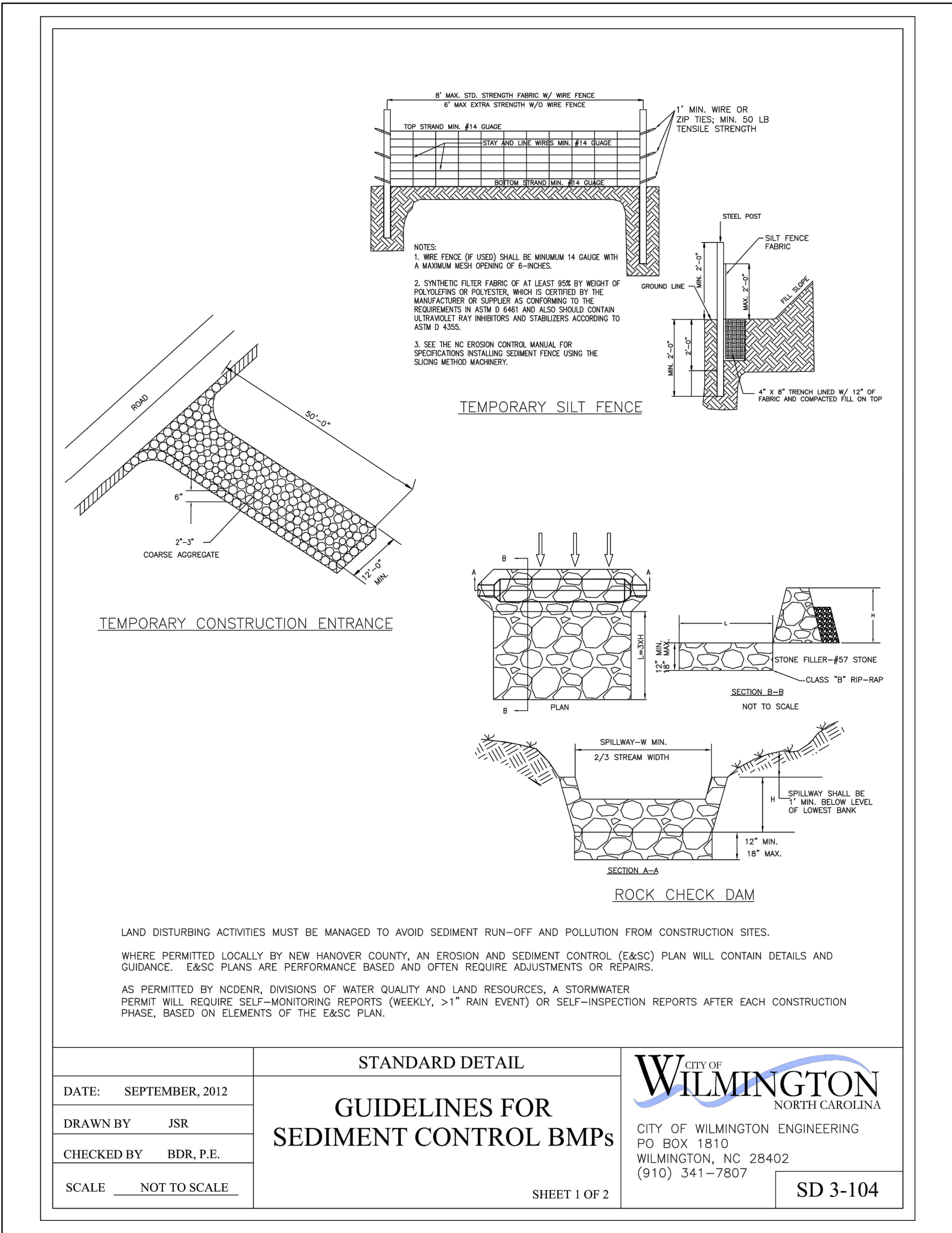
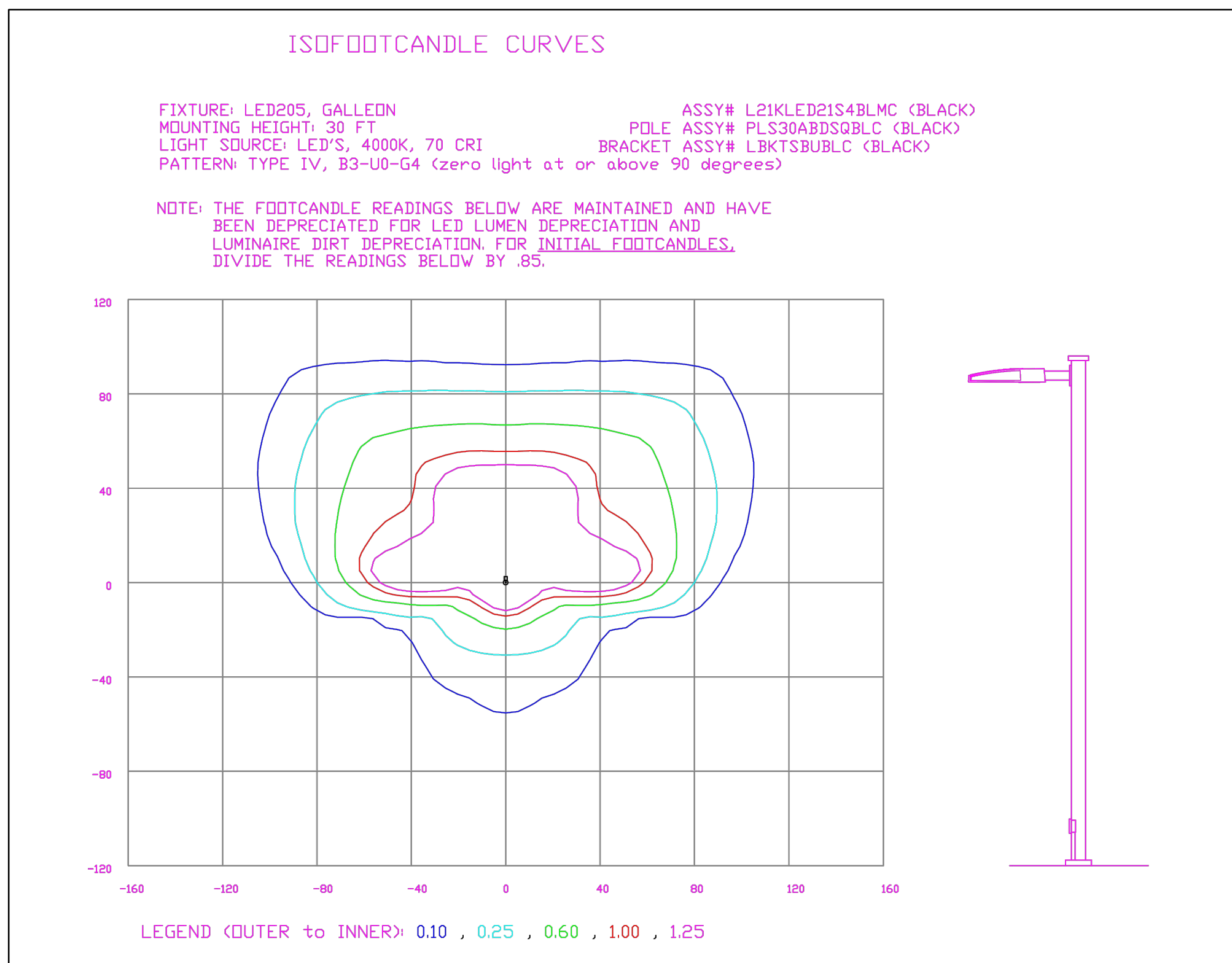
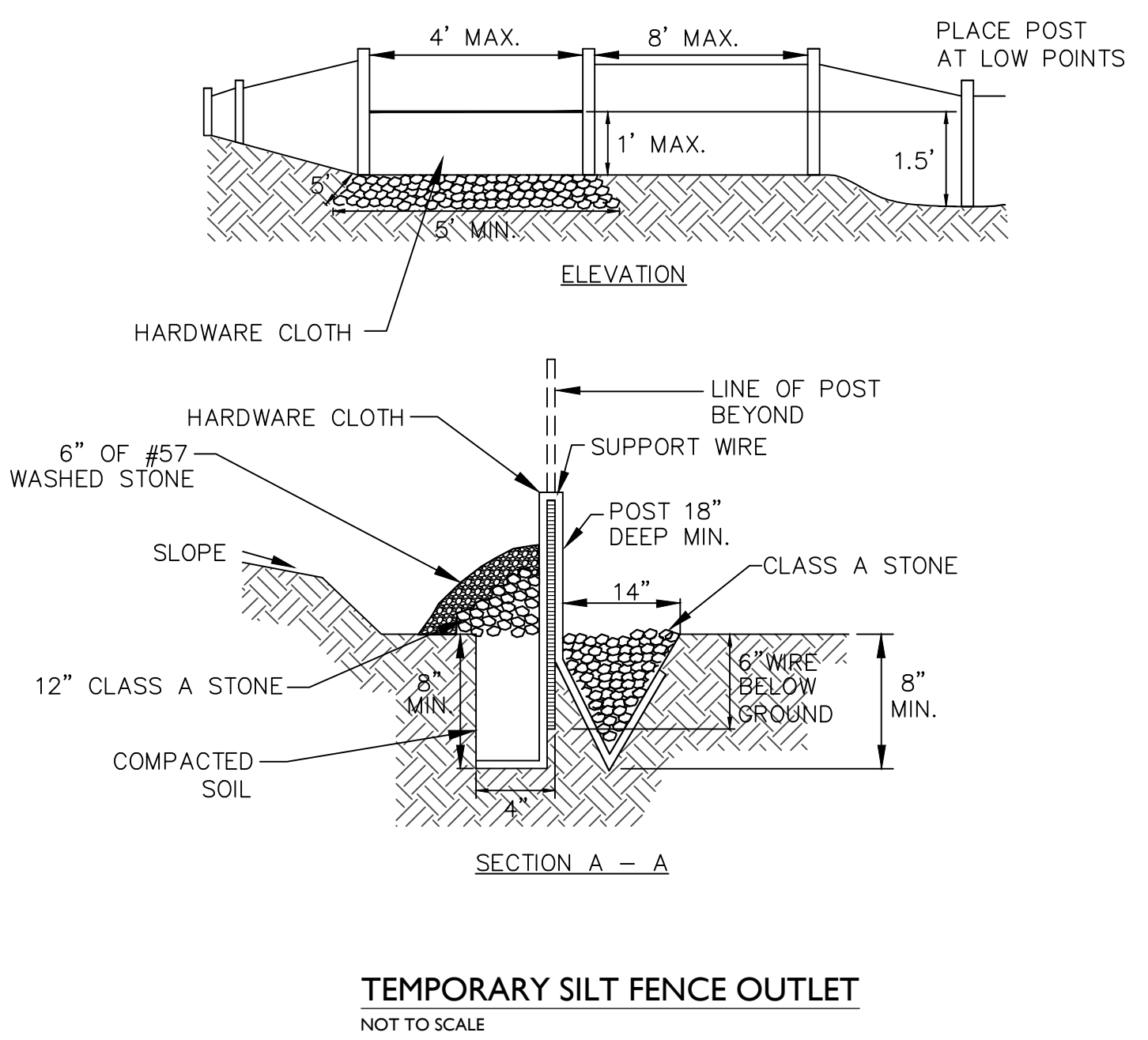
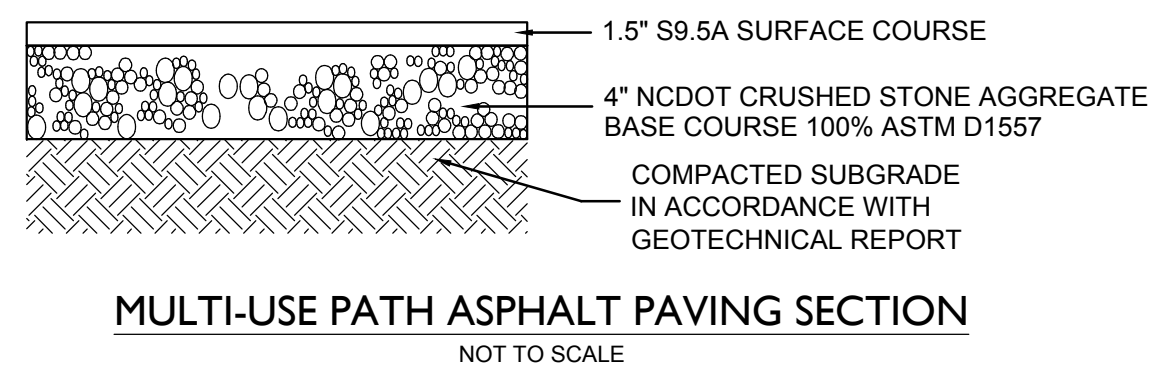
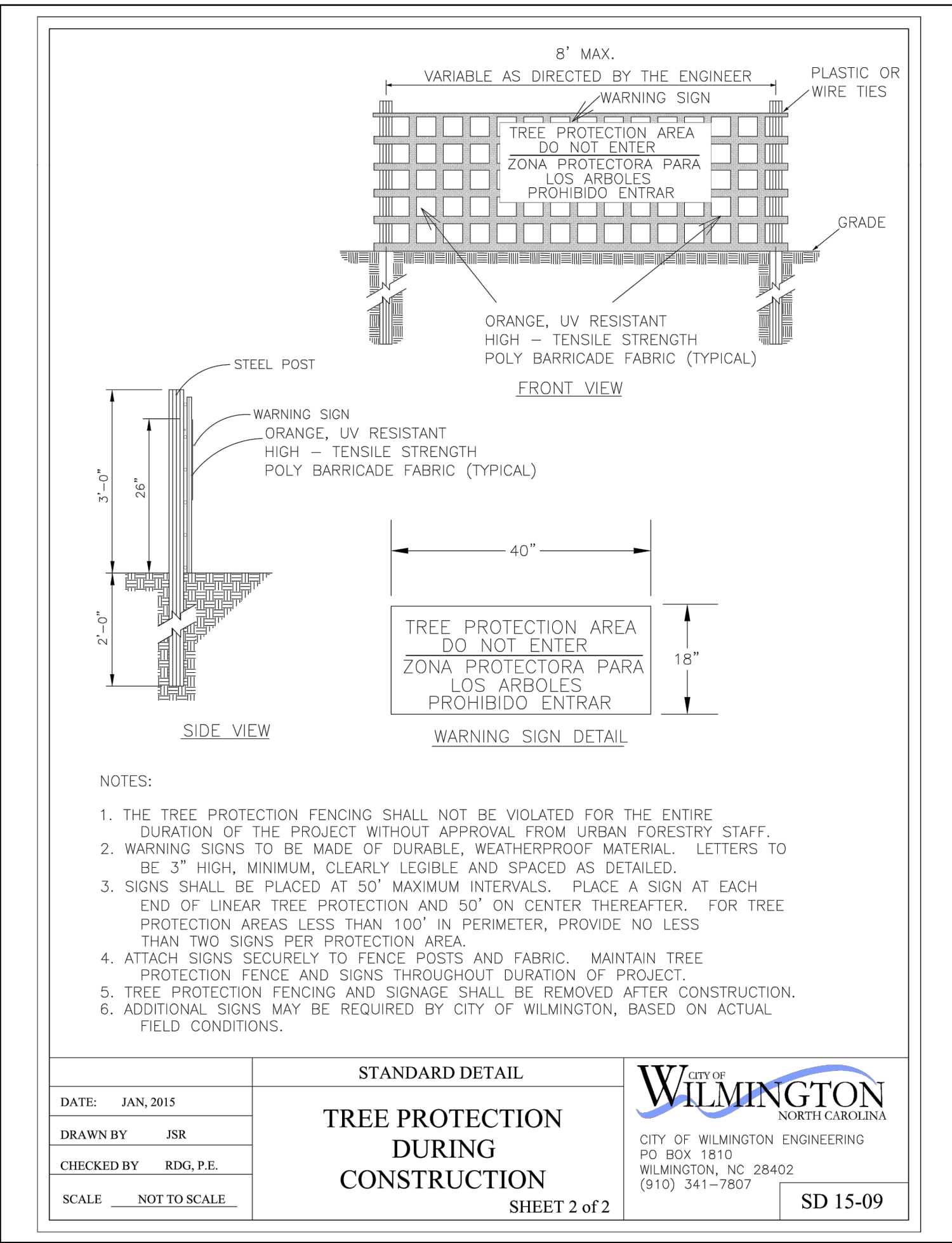
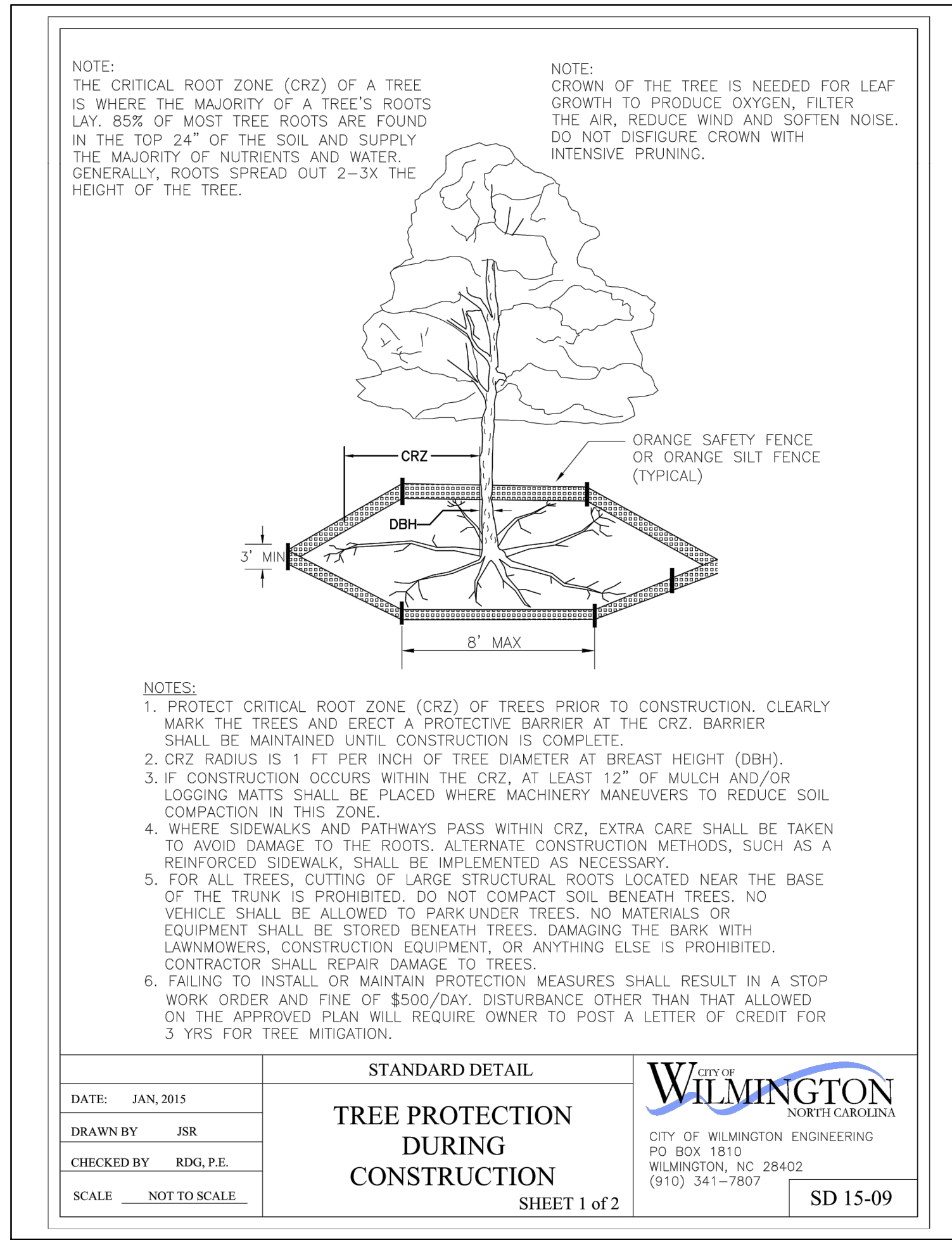
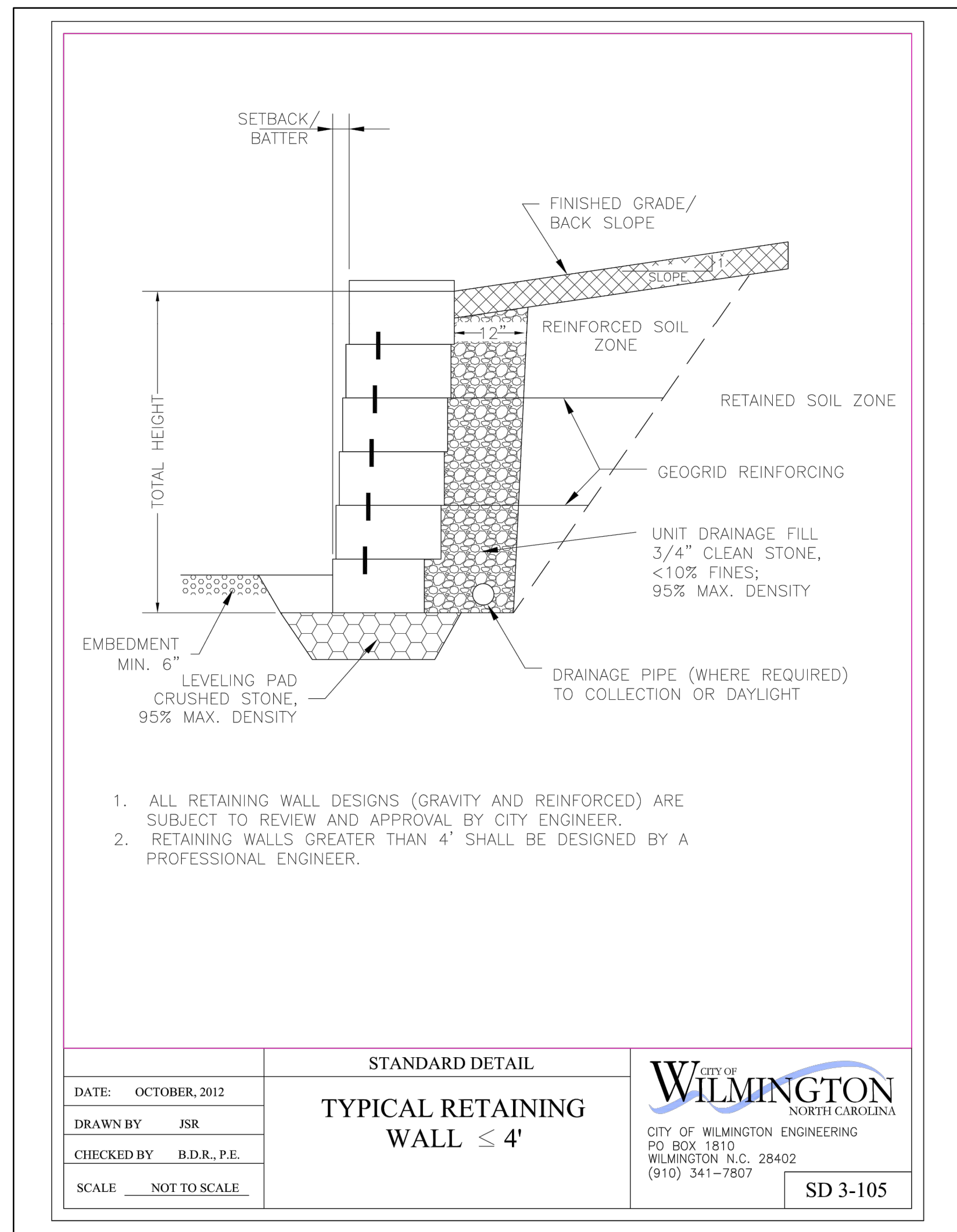
**DRAWING INFORMATION**  
 DATE: 07/17/2009  
 SCALE: 1/8" = 1'-0"  
 DRAWN: [Name]  
 CHECKED: [Name]

SEAL

**Approved Construction Plan**  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

**C-4.0**

PEI JOB#: 18365.PE



**CITY OF WILMINGTON**  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**Approved Construction Plan**  
Name: \_\_\_\_\_ Date: \_\_\_\_\_  
Planning: \_\_\_\_\_  
Traffic: \_\_\_\_\_  
Fire: \_\_\_\_\_

**REVISIONS:**

CLIENT INFORMATION:  
CORPORATION FOR INQUIRY, LLC  
2525 WONDER WAY  
WILMINGTON, NC

**PARAMOUNT ENGINEERING**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (O) (910) 791-6700 (F)  
NC License #: C-2846

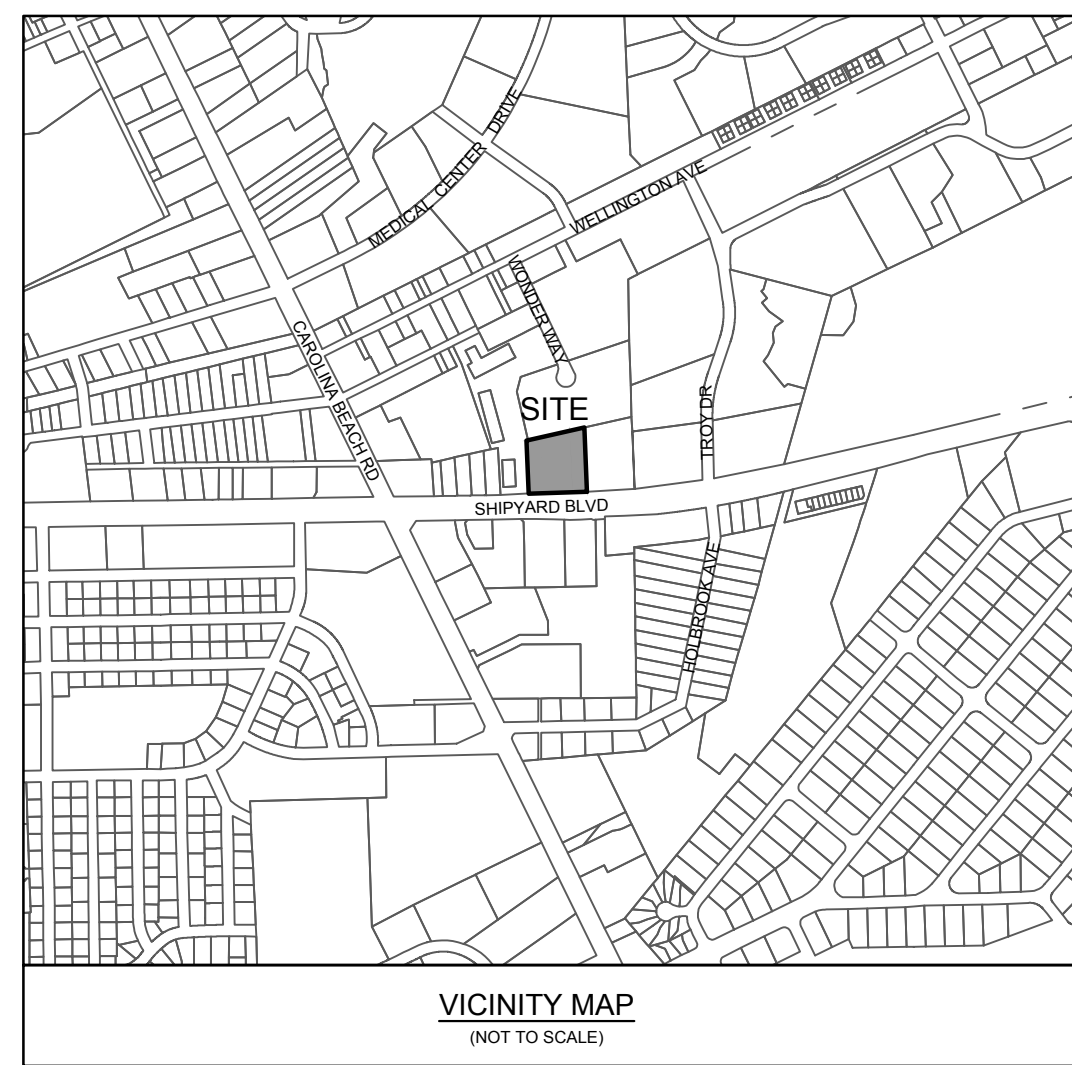
**DETAILS**  
CAPE FEAR CENTER FOR INQUIRY  
PARKING LOT ADDITION  
WILMINGTON, NORTH CAROLINA

PROJECT STATUS:  
DESIGN: \_\_\_\_\_  
CONSTRUCTION: \_\_\_\_\_  
OPERATION: \_\_\_\_\_  
RELEASED FOR CONSTRUCTION: \_\_\_\_\_

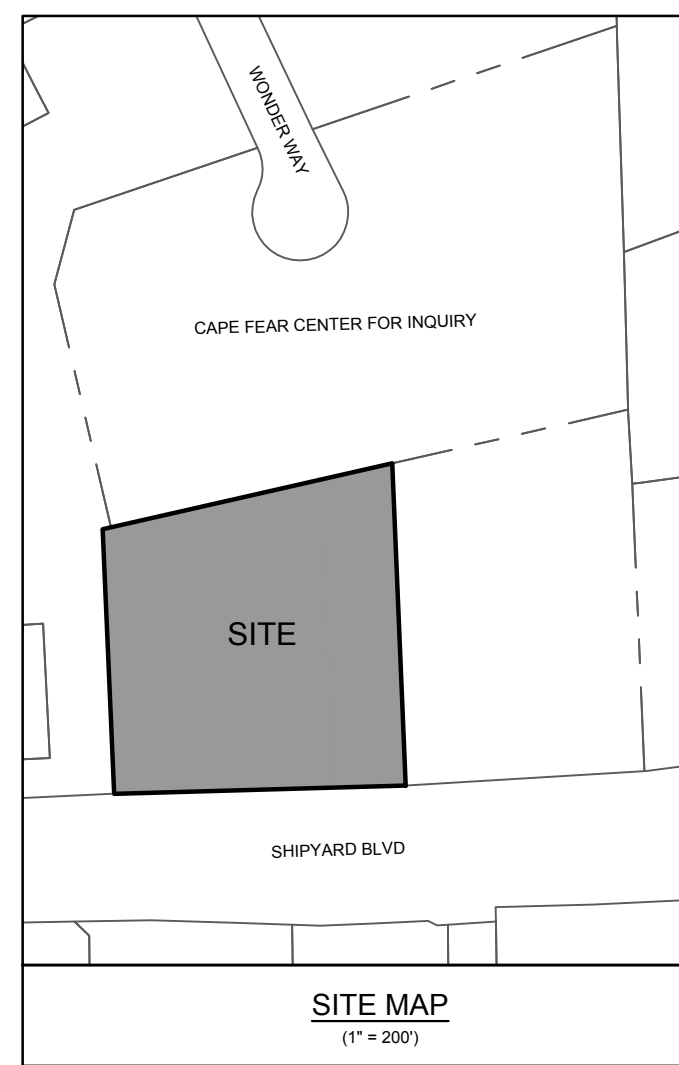
DRAWING INFORMATION:  
DATE: 07/17/20  
SCALE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_

SEAL

**C-4.1**  
PEI JOB#: 18365.PE



VICINITY MAP  
(NOT TO SCALE)



SITE MAP  
(1" = 200')

**SITE INFORMATION**  
**PROJECT ADDRESS:** 2525 WONDER WAY; 621, 703 & 705 SHIPYARD BLVD WILMINGTON, NC 28403  
**OWNER INFORMATION:** CORPORATION FOR INQUIRY, LLC  
 2525 WONDER WAY WILMINGTON, NC 28401  
**TAX PARCEL IDENTIFICATION #:** R06018-004-022-003 (2525 WONDER WAY) DB 6121 PG 2897  
**RECORDED DEED BOOK:** R 06018-004-032-000 (621 SHIPYARD BLVD) DB 6233 PG 876  
**TAX PARCEL IDENTIFICATION #:** R06018-004-033-000 (703 SHIPYARD BLVD) DB 4957 PG 2522  
**RECORDED DEED BOOK:** R06018-004-0034-000 (705 SHIPYARD BLVD) DB 1481 PG 188  
**CURRENT ZONING:** CS - COMMERCIAL SERVICE O&I-1(CD) (2525 WONDER WAY)  
**EXISTING USE:** SCHOOL (2525 WONDER WAY) RESIDENTIAL (621, 703 & 705 SHIPYARD BLVD)  
**PROPOSED ZONING:** O&I-1(CD) (RECOMBINED PARCEL)  
**PROPOSED USE:** PARKING LOT  
**TOTAL PROPOSED SITE AREA:** ± 6.665 AC  
 ± 5.076 AC (2525 WONDER WAY)  
 ± 0.809 ACRES (621 SHIPYARD)  
 ± 0.537 ACRES (703 SHIPYARD)  
 ± 0.563 ACRES (705 SHIPYARD)  
**FLOOD INFORMATION:** THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3720312600K, DATED AUGUST 26, 2018  
**CAMA LAND USE CLASSIFICATION:** URBAN  
**SPECIAL HIGHWAY OVERLAY DISTRICT:** THE SITE IS NOT LOCATED IN A SPECIAL HIGHWAY OVERLAY DISTRICT

**TREE REMOVAL NOTES:**  
 1. PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.  
 2. ALL TREES TO BE REMOVED SHALL BE DUE TO ESSENTIAL SITE IMPROVEMENTS. MITIGATION FOR ANY TREE REMOVAL SHALL ONLY BE APPLICABLE TO SIGNIFICANT TREES REMOVED.

**TREE MITIGATION NOTES:**  
 1. EXISTING TREES TO REMAIN WILL COUNT TOWARD CREDIT AGAINST MITIGATION AS PER TABLE 1 'CREDIT FOR PRESERVED TREES' IN SECTION 18-448 OF THE CITY OF WILMINGTON LDC.  
 2. NO CREDIT WAS TAKEN FOR EXISTING TREES TO REMAIN LOCATED WITHIN THE BUFFERS  
 3. TREE PROTECTION FENCING WILL BE INSTALLED AS PER CITY OF WILMINGTON STANDARDS AND BE PRESENT BEFORE AND DURING CONSTRUCTION TO PREVENT EQUIPMENT AND PERSONNEL FROM DAMAGING PRESERVED TREES.

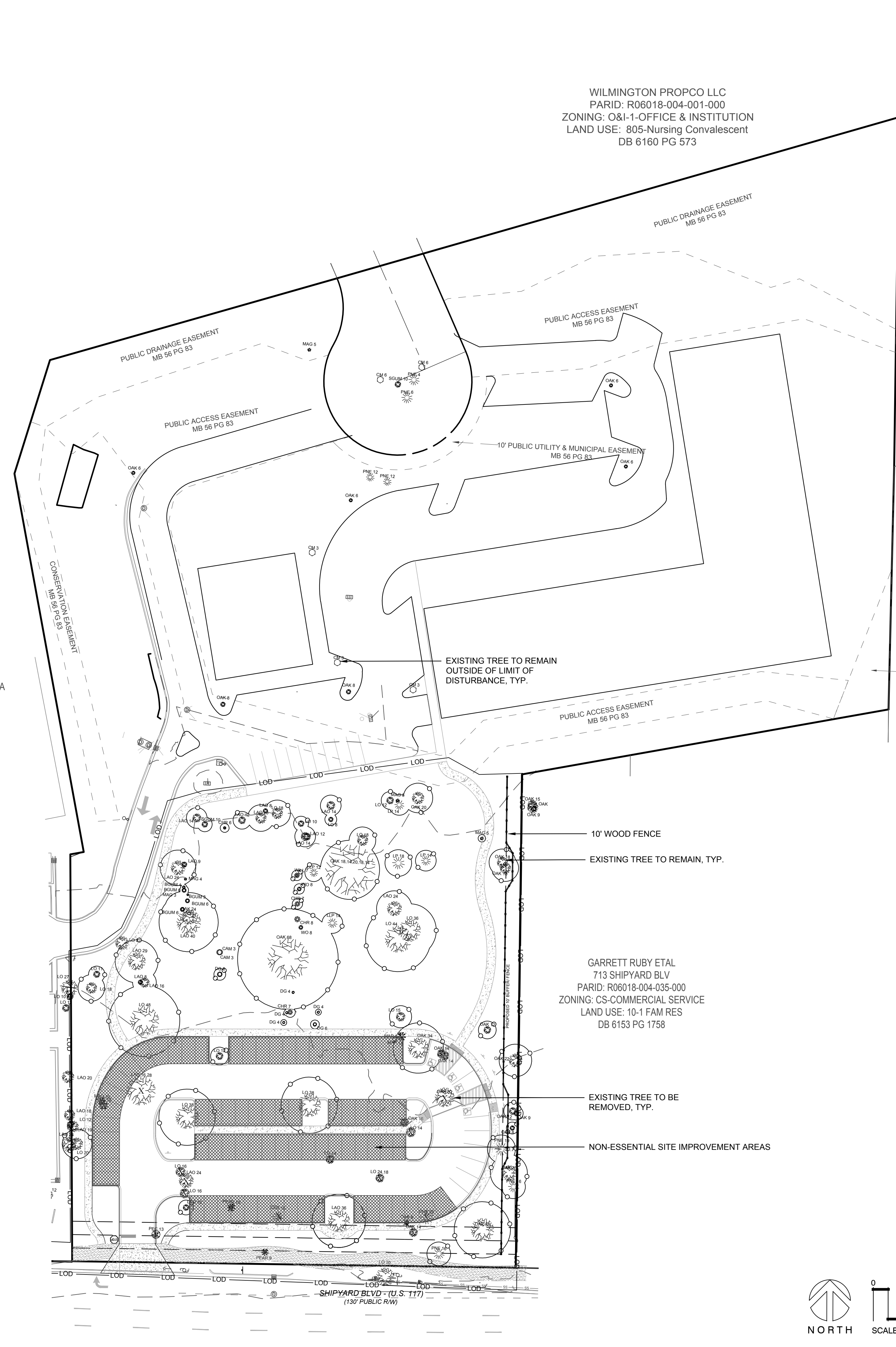
WILLIE STARGELL OFFICE PRK ASSN  
 609 SHIPYARD BLV  
 PARID: R06018-004-029-000  
 ZONING: CS-COMMERCIAL SERVICE  
 LAND USE: 961-CONDOMINIUM COMMON AREA  
 DB 5462 PG 1177

**CFCI PARKING LOT ADDITION - Tree Preservation Credit**

Qty of Trees	Caliper Inches *	Tree Common Name	Total Tree Caliper Inches to be Preserved	City Tree Mitigation Credit
2	7	CHERRY	14	
1	8	CHERRY	8	
1	6	CHERRY	6	
3	3	CRAPE MYRTLE	9	
2	6	CRAPE MYRTLE	12	
4	4	DOGWOOD	16	
1	6	DOGWOOD	6	
1	8	DOGWOOD	8	
1	10	GUM	10	
1	4	MAGNOLIA	4	
3	5	MAGNOLIA	15	
2	8	LAUREL OAK	16	
1	9	LAUREL OAK	9	
1	10	LAUREL OAK	10	
2	12	LAUREL OAK	24	
3	14	LAUREL OAK	42	
1	16	LAUREL OAK	16	
2	18	LAUREL OAK	36	
1	19	LAUREL OAK	19	
1	20	LAUREL OAK	20	
2	24	LAUREL OAK	48	
1	29	LAUREL OAK	29	
1	36	LAUREL OAK	36	
1	40	LAUREL OAK	40	
1	8	LIVE OAK	8	
1	10	LIVE OAK	10	
1	11	LIVE OAK	11	
3	12	LIVE OAK	36	
1	15	LIVE OAK	15	
3	18	LIVE OAK	54	
1	20	LIVE OAK	20	
1	22	LIVE OAK	22	
1	36	LIVE OAK	36	
2	38	LIVE OAK	76	
1	44	LIVE OAK	44	
1	48	LIVE OAK	48	
4	6	OAK	24	
2	8	OAK	16	
1	20	OAK	20	
1	24	OAK	24	
1	12	OAK	12	
3	18	OAK	54	
1	34	OAK	34	
1	38	OAK	38	
1	68	OAK	68	
1	84	OAK	84	
2	8	WATER OAK	16	
1	4	PINE	4	
1	6	PINE	6	
2	12	PINE	24	
1	16	PINE	16	
1	19	PINE	19	
1	12	LONG LEAF PINE	12	
1	14	LONG LEAF PINE	14	
2	14	LOBLOLLY PINE	28	
1	18	LOBLOLLY PINE	18	
1	7	WILLOW	7	
<b>TOTAL CALIPER INCHES RETAINED ON SITE</b>			<b>1353</b>	
<b>TOTAL TREE CREDITS</b>				<b>226</b>

**CFCI PARKING LOT ADDITION - Tree Removal Calculations**

Qty of Trees	Caliper Inches*	Individual Trunk Calipers AND Individual Cluster Trunks	Tree Common Name	City Tree Type	Total Cal Inches to be Removed	% Mitigation	Essential Site Improvements	Significant	Total Qty of Mitigation Trees Required
<b>REGULATED &amp; SIGNIFICANT TREES</b>									
1	16		CEDAR	conifer	16	100%	no	no	5
1	10		MAGNOLIA	flowering	10	100%	no	yes	7
1	12		MAGNOLIA	flowering	12	100%	no	yes	8
1	9		MAPLE	hardwood	9	100%	yes	no	
1	11		MAPLE	hardwood	11	100%	yes	no	
1	8		OAK	hardwood	8	100%	no	no	3
3	34		OAK	hardwood	14	100%	yes	yes	9
1	16		OAK	hardwood	16	100%	yes	yes	11
1	32		OAK	hardwood	32	100%	yes	yes	21
1	24		OAK (LAUREL)	hardwood	24	100%	yes	yes	16
1	44	16	OAK (LAUREL)	hardwood	44	100%	yes	yes	29
2	34		OAK (LIVE OAK)	hardwood	14	100%	yes	yes	9
1	16		OAK (LIVE OAK)	hardwood	16	100%	yes	no	
1	42	18	OAK (LIVE OAK)	hardwood	42	100%	yes	yes	28
1	9		PEAR	flowering	9	25%	yes	yes	2
1	10		PEAR	flowering	10	25%	no	yes	2
1	13		PECAN	hardwood	13	75%	yes	yes	7
1	20		PINE (LOBLOLLY)	conifer	20	0%	no	no	3
<b>Total Significant Trees Mitigation Required:</b>									<b>160</b>
<b>Total Category 1 Regulated Trees To Be Removed with Essential Site Improvements:</b>									<b>21</b>
<b>Total Qty. of Significant Tree Mitigation (essential site improvements):</b>									<b>160</b>
<b>Total Tree Credits:</b>									<b>226</b>
<b>Total Qty. of Mitigation Trees Required on Site (or Pay in Lieu Equivalent):</b>									<b>-66</b>



WILMINGTON  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED STORMWATER MANAGEMENT PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

WILMINGTON PROPCO LLC  
 PARID: R06018-004-001-000  
 ZONING: O&I-1-OFFICE & INSTITUTION  
 LAND USE: 805-Nursing Convalescent  
 DB 6160 PG 573

CAPS OF VIRGINIA INC  
 PARID: R06018-004-036-002  
 ZONING: O&I-1-OFFICE & INSTITUTION  
 LAND USE: 804-Other Medical & Health  
 DB 2053 PG 10

STORAGE VENTURES I INC  
 PARID: R06018-004-038-000  
 ZONING: COM-Commercial  
 LAND USE: 422-Self Storage/ Mini Storage  
 DB 2175 PG 922

REVISIONS:

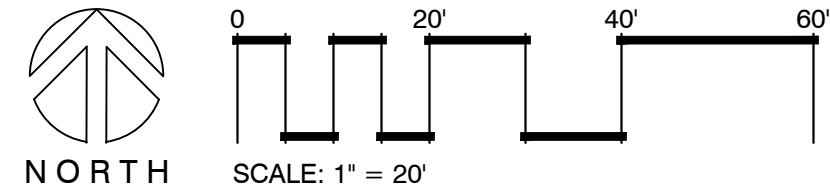
CLIENT INFORMATION:  
 CORPORATION FOR INQUIRY, LLC  
 2525 WONDER WAY  
 WILMINGTON, NC

PARAMOUNT ENGINEERING  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (O) (910) 791-6766 (F)  
 N.C. License #: C-2846

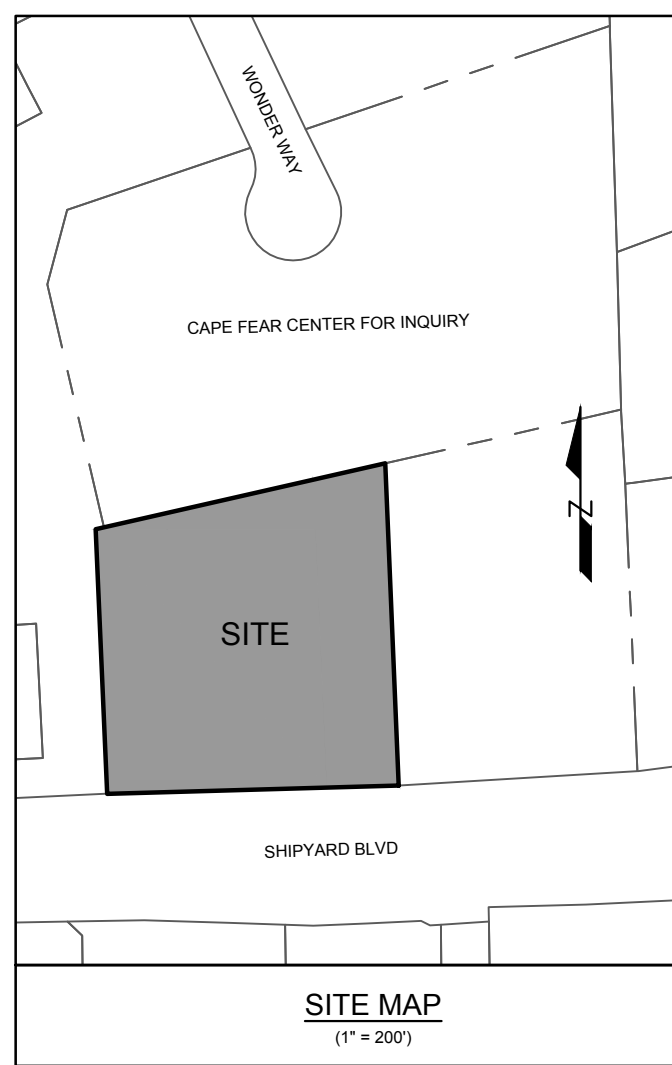
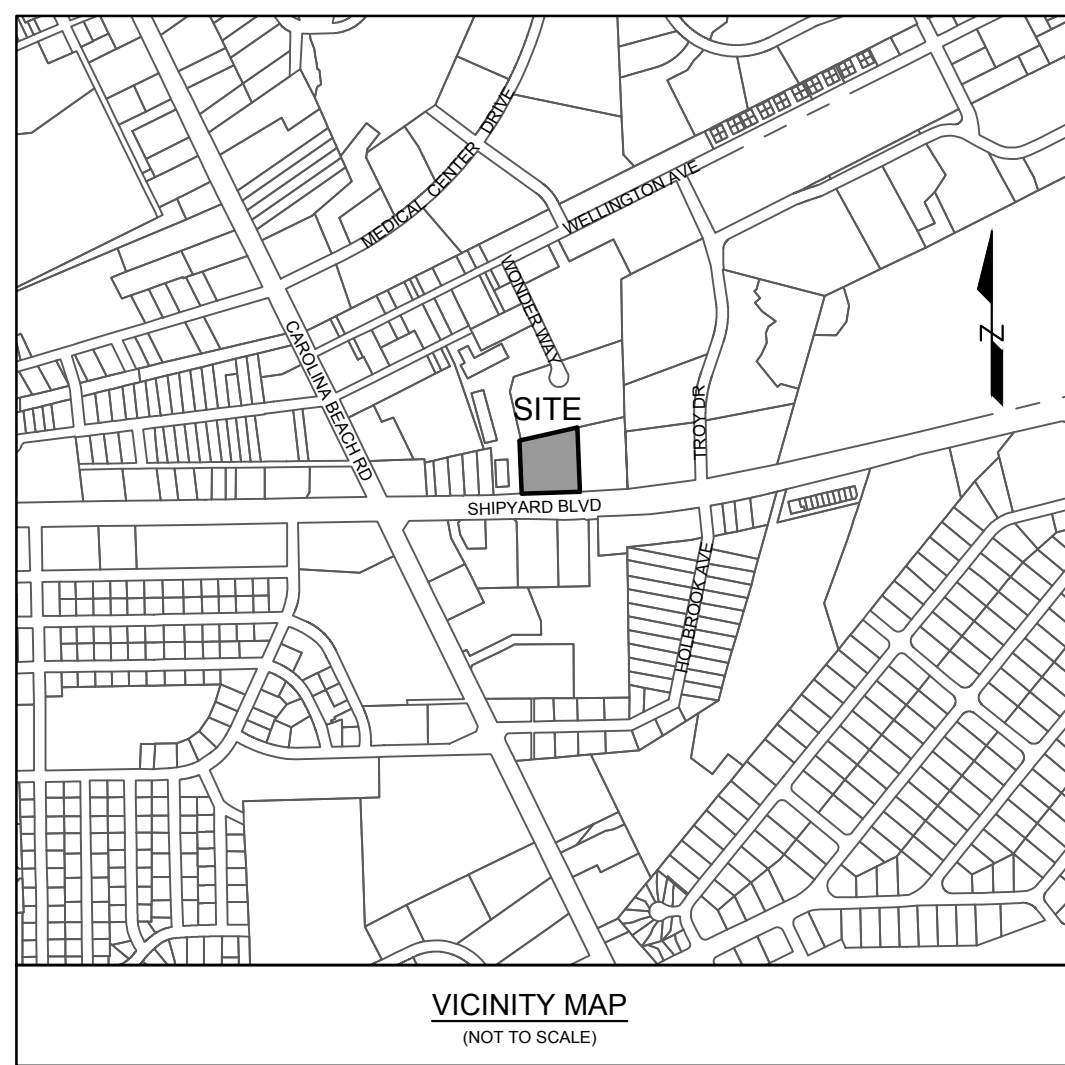
TREE REMOVAL PLAN  
 MINOR SITE PLAN  
 CAPE FEAR CENTER FOR INQUIRY  
 PARKING LOT ADDITION  
 WILMINGTON, NORTH CAROLINA

PROJECT STATUS:  
 CONCEPTUAL LAYOUT:  
 PRELIMINARY DESIGN:  
 FINAL DESIGN:  
 RELEASED FOR CONSTRUCTION:  
 DRAWING INFORMATION:  
 DATE: 07/29/20  
 SCALE: 1" = 20'  
 DRAWN BY: JRC  
 CHECKED: JRC

SEAL  
 L-1.0  
 PEI JOB#: 18365.PE







**SITE INFORMATION**  
 PROJECT ADDRESS: 2525 WONDER WAY; 621, 703 & 705 SHIPYARD BLVD WILMINGTON, NC 28403

**OWNER INFORMATION:**  
 CORPORATION FOR INQUIRY, LLC  
 2525 WONDER WAY  
 WILMINGTON, NC 28401

**TAX PARCEL IDENTIFICATION #**  
 RECORDED DEED BOOK: R06018-004-022-003 (2525 WONDER WAY) DB 6121 PG 2897

**TAX PARCEL IDENTIFICATION #**  
 RECORDED DEED BOOK: R 06018-004-032-000 (621 SHIPYARD BLVD) DB 6233 PG 876

**TAX PARCEL IDENTIFICATION #**  
 RECORDED DEED BOOK: R06018-004-033-000 (703 SHIPYARD BLVD) DB 4957 PG 2522

**TAX PARCEL IDENTIFICATION #**  
 RECORDED DEED BOOK: R06018-004-0034-000 (705 SHIPYARD BLVD) DB 1481 PG 188

**CURRENT ZONING:**  
 CS - COMMERCIAL SERVICE  
 O&I-1(CD) (2525 WONDER WAY)

**EXISTING USE:**  
 SCHOOL (2525 WONDER WAY)  
 RESIDENTIAL (621, 703 & 705 SHIPYARD BLVD)

**PROPOSED ZONING:**  
 O&I-1(CD) (RECOMBINED PARCEL)

**PARKING LOT**  
 TOTAL PROPOSED SITE AREA: ± 6.665 AC  
 ± 5.076 AC (2525 WONDER WAY)  
 ± 0.809 ACRES (621 SHIPYARD)  
 ± 0.537 ACRES (703 SHIPYARD)  
 ± 0.563 ACRES (705 SHIPYARD)

**FLOOD INFORMATION:**  
 THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3720312800K, DATED AUGUST 28, 2018

**CAMA LAND USE CLASSIFICATION:**  
 URBAN

**SPECIAL HIGHWAY OVERLAY DISTRICT:**  
 THE SITE IS NOT LOCATED IN A SPECIAL HIGHWAY OVERLAY DISTRICT

**STREETYARD CALCULATIONS:**

REQUIRED	PROVIDED
REQUIRED SF = 18 x (300-24)	4,968 SF
MULTI-USE PATH IN STREETYARD	2,928 SF
MODIFIED REQUIRED SF	3,477 SF

2,928 / 600 = 4.88 OR 5	5 TREES	7 TREES
1 TREE / 600 SF =	30 SHRUBS	123 SHRUBS

IMPERVIOUS SURFACE 15% MAX 1.6% (48 SF)

**IMPERVIOUS SURFACE PLANTING CALCULATIONS:**

REQUIRED	PROVIDED
8,350 SF IMPERVIOUS SURFACE	1,670 SF
20% INTERIOR SHADING REQUIRED	11,459 SF
8,350 X 20%	1,670 SF
EXISTING TREES	11,459 SF
CANOPY TREES	2,121 SF
3 X 707 = 2,121 SF	13,580 SF (164%)
TOTAL INTERIOR SHADING PROVIDED	

**OVERALL SITE TREE PLANTING REQUIREMENTS**

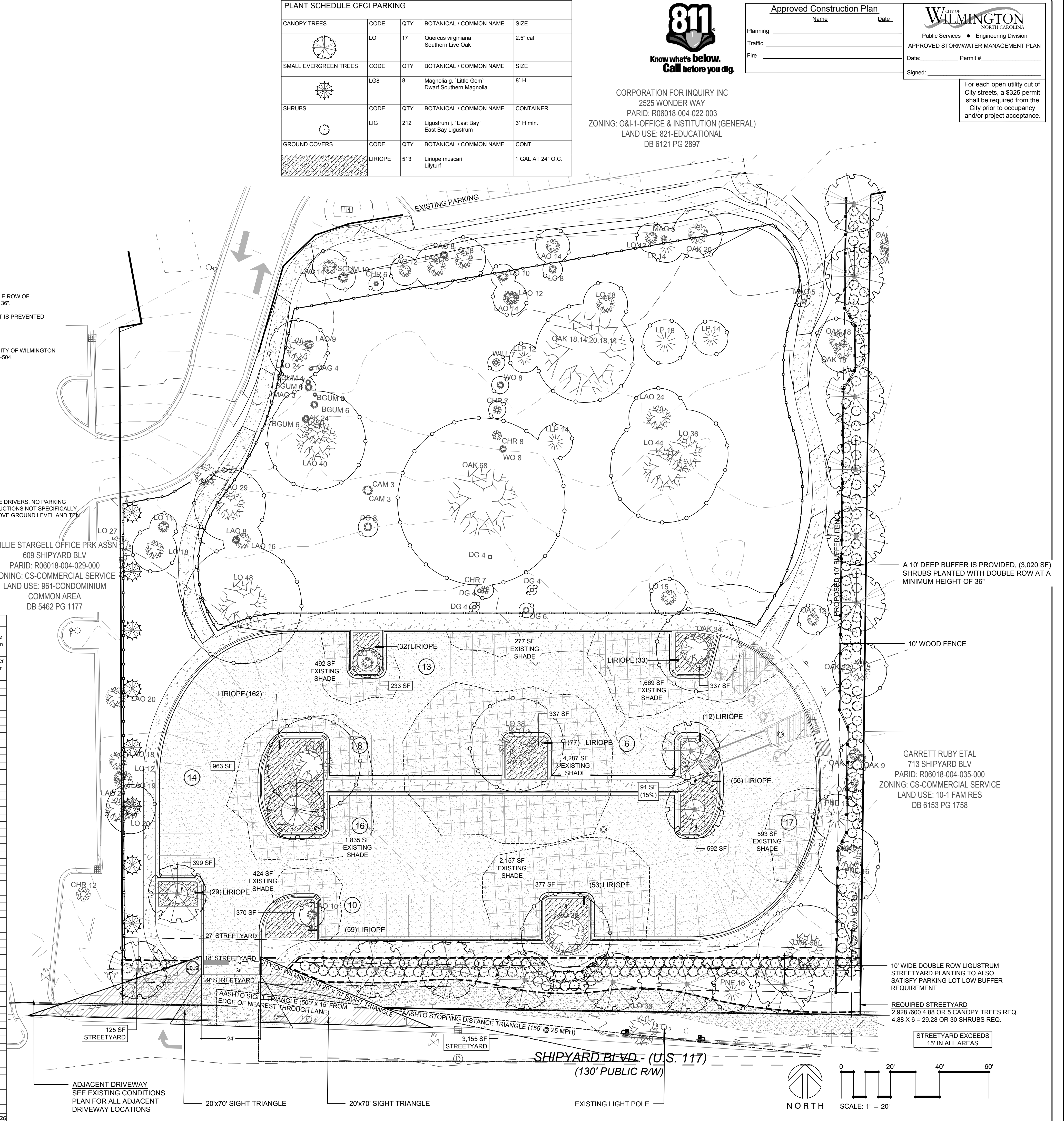
REQUIRED	PROVIDED
6.65 AC X (15) 2.5" TREES / AC = 99.75	100
TREE PLANTING (BUFFER, STREETYARD, PARKING LOT)	17
RETAINED TREE CREDIT (OF REGULATED SIZE)	85
	102
REQUIRED MITIGATION TREES	160
TREE PRESERVATION CREDIT (SEE CHART)	226

**CFCI PARKING LOT ADDITION - Tree Removal Calculations**

City of Trees	Caliper Inches	Individual Trunk Calipers AND Individual Cluster Trunks	Tree Common Name	Type	Total Cal. Inches to be Removed	% Mitigation	Essential Site Improvements	Significant	Total City of Mitigation Trees Required	
1	16		CEDAR	conifer	16	100%	no	no	5	
1	10		MAGNOLIA	flowering	10	100%	no	yes	7	
1	12		MAGNOLIA	flowering	12	100%	no	yes	8	
1	9		MAPLE	hardwood	9	100%	yes	no	1	
1	11		MAPLE	hardwood	11	100%	yes	no	2	
1	8		OAK	hardwood	8	100%	no	no	3	
3	14		OAK	hardwood	14	100%	yes	yes	9	
1	16		OAK	hardwood	16	100%	yes	yes	11	
1	32		OAK	hardwood	32	100%	yes	yes	21	
1	24		OAK (LAUREL)	hardwood	24	100%	yes	yes	16	
1	44	16	28	OAK (LAUREL)	hardwood	44	100%	yes	yes	29
2	14		OAK (LIVE OAK)	hardwood	14	100%	yes	yes	9	
1	16		OAK (LIVE OAK)	hardwood	16	100%	yes	no	9	
1	42	18	24	OAK (LIVE OAK)	hardwood	42	100%	yes	yes	28
1	9		PEAR	flowering	9	25%	yes	yes	2	
1	10		PEAR	flowering	10	25%	no	yes	2	
1	13		PECAN	hardwood	13	75%	yes	yes	7	
1	20		PINE (LOBLOLLY)	conifer	20	50%	no	no	3	
<b>Total Significant Trees Mitigation Required:</b>									<b>160</b>	
<b>Total Category 1 Regulated Trees To Be Removed with Essential Site Improvements:</b>									<b>21</b>	
<b>Total Qty. of Significant Tree Mitigation (essential site improvements):</b>									<b>160</b>	
<b>Total Tree Credits:</b>									<b>226</b>	
<b>Total Qty. of Mitigation Trees Required on Site (or Pay in Lieu Equivalent):</b>									<b>-66</b>	

**CFCI PARKING LOT ADDITION - Tree Preservation Credit**

City of Trees	Caliper Inches	Tree Common Name	Total Tree Caliper Inches to be Preserved	City Tree Mitigation Credit
2	7	CHERRY	14	14
1	9	CHERRY	9	9
1	6	CHERRY	6	6
3	3	CRAPE MYRTLE	9	9
2	6	CRAPE MYRTLE	12	12
4	4	DOGWOOD	16	16
1	6	DOGWOOD	6	6
1	8	DOGWOOD	8	8
1	10	GUM	10	10
1	4	MAGNOLIA	4	4
3	5	MAGNOLIA	15	15
2	8	LAUREL OAK	16	16
1	9	LAUREL OAK	9	9
1	10	LAUREL OAK	10	10
2	12	LAUREL OAK	24	24
3	14	LAUREL OAK	42	42
1	16	LAUREL OAK	16	16
2	18	LAUREL OAK	36	36
1	19	LAUREL OAK	19	19
1	20	LAUREL OAK	20	20
2	24	LAUREL OAK	48	48
1	29	LAUREL OAK	29	29
1	36	LAUREL OAK	36	36
1	40	LAUREL OAK	40	40
1	8	LIVE OAK	8	8
1	10	LIVE OAK	10	10
1	11	LIVE OAK	11	11
3	12	LIVE OAK	36	36
1	15	LIVE OAK	15	15
3	18	LIVE OAK	54	54
2	20	LIVE OAK	40	40
1	22	LIVE OAK	22	22
1	26	LIVE OAK	26	26
2	38	LIVE OAK	76	76
1	44	LIVE OAK	44	44
1	48	LIVE OAK	48	48
4	6	OAK	24	24
2	8	OAK	16	16
1	15	LIVE OAK	15	15
3	18	LIVE OAK	54	54
2	20	LIVE OAK	40	40
1	22	LIVE OAK	22	22
1	26	LIVE OAK	26	26
2	38	LIVE OAK	76	76
1	44	LIVE OAK	44	44
1	48	LIVE OAK	48	48
4	6	OAK	24	24
2	8	OAK	16	16
1	12	OAK	12	12
2	18	OAK	36	36
1	24	OAK	24	24
1	34	OAK	34	34
1	38	OAK	38	38
1	68	OAK	68	68
1	84	OAK	84	84
1	4	PINE	4	4
1	6	PINE	6	6
2	12	PINE	24	24
1	16	PINE	16	16
1	19	PINE	19	19
1	12	LONG LEAF PINE	12	12
1	14	LONG LEAF PINE	14	14
2	14	LOBLOLLY PINE	28	28
1	18	LOBLOLLY PINE	18	18
1	7	WILLOW	7	7
<b>TOTAL CALIPER INCHES RETAINED ON SITE</b>				<b>1353</b>
<b>TOTAL TREE CREDITS</b>				<b>226</b>



**PLANT SCHEDULE CFCI PARKING**

CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	LO	17	Quercus virginiana Southern Live Oak	2.5" cal
SMALL EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	LG8	8	Magnolia g. 'Little Gem' Dwarf Southern Magnolia	8" H
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER
	LIG	212	Ligustrum j. 'East Bay' East Bay Ligustrum	3" H min.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT
	LIRIOPE	513	Liriope muscari Lilyturf	1 GAL AT 24" O.C.

**Know what's below.  
Call before you dig.**

CORPORATION FOR INQUIRY INC  
 2525 WONDER WAY  
 PARID: R06018-004-022-003  
 ZONING: O&I-1-OFFICE & INSTITUTION (GENERAL)  
 LAND USE: 821-EDUCATIONAL  
 DB 6121 PG 2897

**Approved Construction Plan**  
 Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fire: \_\_\_\_\_

Public Services • Engineering Division  
**APPROVED STORMWATER MANAGEMENT PLAN**  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**REVISIONS:**

**CLIENT INFORMATION:**  
 CORPORATION FOR INQUIRY, LLC  
 2525 WONDER WAY  
 WILMINGTON, NC

**PARAMOUNT ENGINEERING, INC.**  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (O) (910) 791-6766 (F)  
 NC License #: C-2846

**LANDSCAPE PLAN  
 MINOR SITE PLAN  
 CAPE FEAR CENTER FOR INQUIRY  
 PARKING LOT ADDITION  
 WILMINGTON, NORTH CAROLINA**

**PROJECT STATUS:**  
 CONCEPTUAL LAYOUT: \_\_\_\_\_  
 PRELIMINARY LAYOUT: \_\_\_\_\_  
 FINAL DESIGN LAYOUT: \_\_\_\_\_  
 RELEASED FOR CONSTRUCTION: \_\_\_\_\_

**DRAWING INFORMATION:**  
 DATE: 07/29/20  
 SCALE: 1" = 20'  
 DRAWN BY: JRC  
 CHECKED BY: JRC

**SEAL:**

**L-2.0**

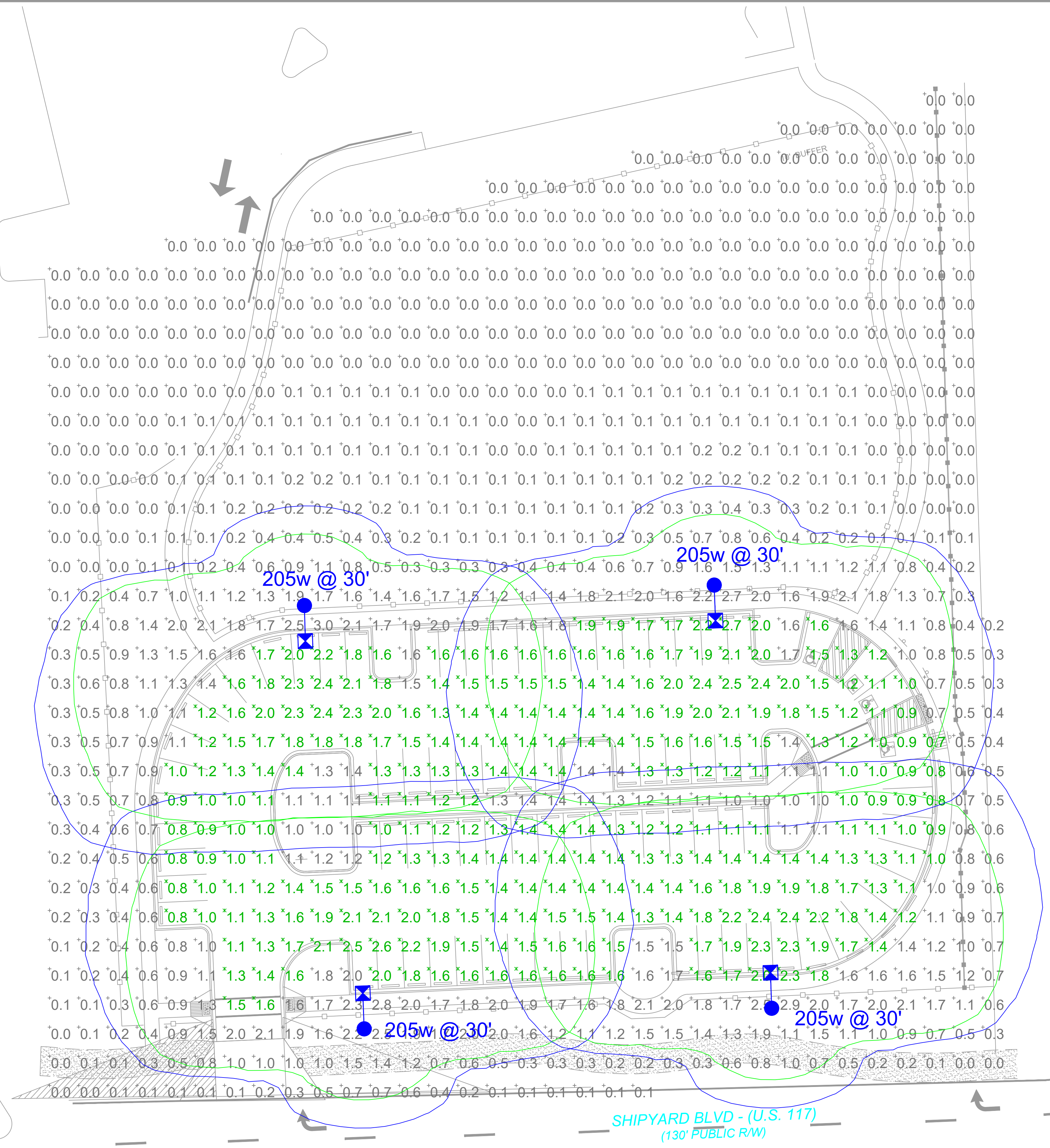
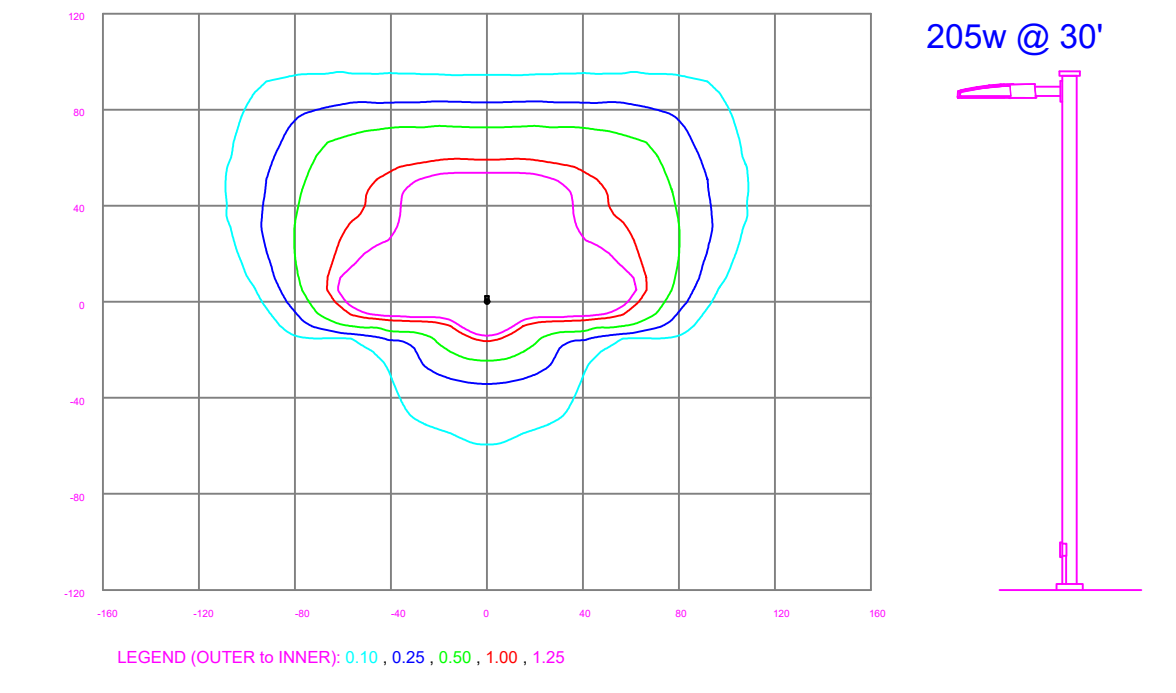
PEI JOB#: 18365.PE

ISOFOOTCANDLE CURVES

FIGURE 205 GALLEON  
MOUNTING HEIGHT: 30 FT  
LIGHT SOURCE: LED 205W, 4000K, T9 CRI  
LUMENS: 34301  
PATTERN: TYPE IV, 83-UG-G4 (zero light at or above 90 degrees)

ASSY: LFK-88X-LED-205-BLK-FVAULTY... (BLACK)  
POLE ASSY: UPOL-AB-5TL-30FT-BLK-SQ... (BLACK)  
BRACKET ASSY: LBK-500-10N-BLK-ANV-BL... (BLACK)

NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LED LUMEN DEPRECIATION AND LUMINAIRE DIRT DEPRECIATION. FOR INITIAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY 85.



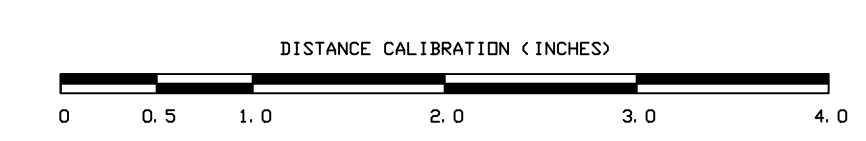
Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
☒	205w	4	LED 205w Shoebox - Type IV - 4000K	64	381	0.85

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall Grid	+	0.7 fc	3.0 fc	0.0 fc	N/A	N/A
Parking	X	1.5 fc	2.7 fc	0.7 fc	3.9:1	2.1:1

**LIGHTING DESIGN TOLERANCE**

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy Progress. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

Customer approval \_\_\_\_\_ Date \_\_\_\_\_



**PROPRIETARY & CONFIDENTIAL**  
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CAPE FEAR CENTER FOR INQUIRY	
WILMINGTON, NC	
SITE LIGHTING PLAN	
Designed by	DEP LIGHTING SOLUTIONS
Reviewed by	N. Johnson Scale 1" = 20'
Date	06/16/2020 Size Arch D
Description	LED 205w Shoebox
Drawing No.	20-0196A Sht. 1 OF 1